

**Attachment - A**  
**Application**



## Preliminary Subdivision Plat Application

SUBDIVISION INFORMATION			
Property Address: 6573 W Rose Canyon Road, Herriman Utah 84096			
Parcel Numbers: 32-03-400-073 / 32-03-429-001			
<input type="checkbox"/> New Lots/Units <u>5</u> Number of lots/units Total Acres: <u>3.03</u>			
<input checked="" type="checkbox"/> Plat Amendment <u>1</u> Number of new lots/units			
Name of Proposed Subdivision: Kaysan Cove			
APPLICANT INFORMATION			
Name of Applicant: Natalie D Afridi			
Address of Applicant: [REDACTED]			
Email of Applicant: [REDACTED]			
Applicants Affiliation with the Subject Property:			
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Engineer <input type="checkbox"/> Architect <input type="checkbox"/> Other			
Engineer: (if not listed above) Wilding Engineering			
Email of Engineer: [REDACTED]			
Architect: (if applicable)			
Email of Architect		Phone of Architect:	
Property Owner: (if not listed above)			
Email of Owner:		Phone:	
OFFICE USE ONLY			
Date Received: 02/01/2023	Received By: S HOWA	File Number: S2023-008	Fee: \$260.00
Zone: A-1-10	Assigned Planner: S. Howa		Receipt # 1298595

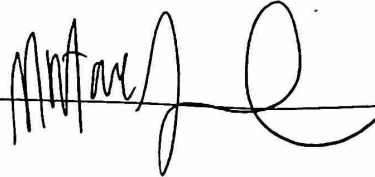


## APPLICANT'S AFFIDAVIT

State of Utah )  
City of Herriman )

I (we), Natalie Afridi, being duly sworn, depose and say that I (we) am (are) the owner(s) or authorized agent(s) of owner, of property involved in the attached application and that the statements and answers contained herein in the attached plans and other exhibits thoroughly, to the best of my (our) ability, present the argument in behalf of the application requested herewith and that the foregoing statements and information above referred to are in all respects true and correct to the best of my (our) knowledge and belief.

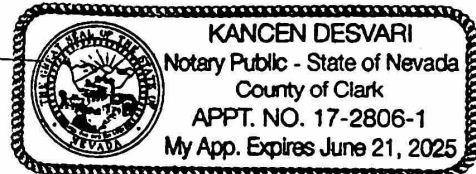
Signed



Nevada  
STATE OF ~~UTAH~~ )  
Clark §  
COUNTY OF ~~SALT LAKE~~

On this 8th of July, in the year 2022, before me Kancen Desvori, personally appeared Natalie D. Afridi, proved to me through satisfactory evidence of identification, which was UT Driver's License to be the person whose name is signed on the preceding document in my presence.

Notary Signature



\*May be owner of record, contract owner, party to valid earnest money agreement, option holder or have other legal control of the property.

## AGENT AUTHORIZATION

I (we), \_\_\_\_\_, the owner(s) of the real property at \_\_\_\_\_ Herriman, Utah, do hereby appoint \_\_\_\_\_ as my (our) agent to represent me (us) with regard to this application affecting the above described real property, and authorize \_\_\_\_\_ to appear on my (our) behalf before any City Boards considering this application.

Signed \_\_\_\_\_

STATE OF UTAH )  
COUNTY OF SALT LAKE )

On this \_\_\_\_\_ of \_\_\_\_\_, in the year 20\_\_\_\_, before me \_\_\_\_\_, personally appeared \_\_\_\_\_, proved to me through satisfactory evidence of identification, which was \_\_\_\_\_, to be the person whose name is signed on the preceding document in my presence.

Notary Signature



## Preliminary Plat Checklist

### City Use Only

Applicant Submitted	All information should be submitted electronically to <a href="mailto:planning@herriman.org">planning@herriman.org</a>	Accepted	N/A Initials
Initial _____	Preliminary Plat Application, including the appropriate fee		
Initial <u>TMC</u>	Existing Conditions Inventory (Land Development Code 10-17-4)		
	Preliminary plat submittal information (Land Development Code 10-5-15), which includes:		
Initial <u>TMC</u>	The boundary lines and legal description of the property to be subdivided, with all dimensions shown		
Initial <u>TMC</u>	The location of existing permanent buildings and structures, on or within 50 feet of the proposed subdivision		
Initial <u>TMC</u>	The layout of streets showing location, widths, and other dimensions of proposed streets (designated by actual or proposed names and numbers), crosswalks, alleys, easements, and streetlights		
Initial <u>TMC</u>	The layout, numbers, and typical dimensions of lots		
Initial <u>TMC</u>	Land intended to be dedicated or temporarily reserved for public use or set aside for use of property owners in the subdivision		
Initial <u>TMC</u>	Minimum building setback lines		
Initial <u>N/A</u>	Easements proposed for water, sewer, drainage, utility lines, and other purposes		
Initial <u>N/A</u>	The location of the subdivision as it relates to any associated lot owned by the applicant, including a sketch of the prospective future street system on any unplatted portion of the property, and the street system proposed within the subdivision in accordance with the future street system of the surrounding area and the general plan		
Initial <u>TMC</u>	The boundary lines of adjacent unsubdivided land within 100 feet of the property proposed for subdivision, showing ownership and property monuments		
Initial <u>TMC</u>	A vicinity map of the subdivision, drawn at a scale of 500 feet to the inch, showing all lots and streets in the subdivision, and all abutting streets with street names		
Initial <u>TMC</u>	The names and addresses of the applicant, the engineer or surveyor of the subdivision, and the owners of land immediately adjoining the subdivision		
Initial <u>TMC</u>	A contour map at intervals of at least two feet, showing all unusual topographic features with verification by a qualified engineer or land surveyor		
Initial <u>TMC</u>	The location of existing sanitary sewers, storm drains, subdrains, culinary and secondary water supply mains, and culverts and other utilities within the property or within 100 feet thereof, indicating pipe sizes, grades, and manholes		
Initial <u>TMC</u>	The location, widths, and other dimensions of proposed streets, alleys, easements, parks, and other open spaces and lots with the size and buildable area of each proposed lot in square footage and proper labeling of spaces to be dedicated to the public		





Applicant Submitted		Accepted	N/A Initials
Initial <u>TMC</u>	The location, principal dimension, and names of all existing and recorded streets, alleys, and easements, both within the proposed subdivision and within 100 feet of the boundary thereof, showing whether recorded or claimed by usage		
Initial <u>TMC</u>	The location and dimensions to the nearest existing benchmark or monument, and section line		
Initial <u>TMC</u>	The location and principal dimensions of all water courses, public utilities, and other features and existing structures on the land adjacent to the proposed subdivision, including railroads, power lines, and topography		
Initial <u>TMC</u>	The location of existing bridges, culverts, surface or subsurface drainage channels, utilities, buildings or other structures, pumping stations, or appurtenances, within the subdivision or within 200 feet thereof, and all known wells or springs, and location of any 100-year flood plain as delineated by the Federal Emergency Management Agency		
Initial <u>TMC</u>	Proposed off-site and on-site culinary and secondary water facilities, sanitary sewers, storm drainage facilities, and fire hydrants		
Initial <u>N/A</u>	A plan showing how the applicant proposes to handle storm water drainage for an event with a 100-year return interval, as determined by the city engineer		
Initial <u>TMC</u>	A plan for providing street lighting in the subdivision		
Initial <u>N/A</u>	Plans showing any required landscaping and/or parkstrip tree planting		
Initial <u>TMC</u>	A soil erosion and sedimentation control plan prepared by a registered civil engineer; if the site requires substantial cutting, clearing, grading, or other earthmoving operations in the construction of improvements if required by the city engineer		
	<b>The following documents:</b>		
Initial _____	Certification of to the accuracy of the preliminary plat by the land owner		
Initial <u>TMC</u>	Certification of the accuracy of the preliminary plat and any traverse to permanent survey monuments by a land surveyor registered to practice in the State of Utah		
Initial _____	Copies of any agreements with adjacent property owners relevant to the proposed subdivision		
Initial _____	A geologic hazards, geotechnical, and/or soils report prepared by a qualified engineer based upon adequate test borings or excavations in accordance with city standards and specifications, if required by the city engineer		
Initial _____	Evidence that all utilities and services will be available for the subdivision		
Initial <u>N/A</u>	A traffic report prepared by a qualified traffic engineer, if required by the city engineer;		
Initial _____	Evidence of compliance with other applicable federal, state and local laws and regulations, if requested by the community development director		
Initial _____	A copy of proposed protective covenants, if subsurface drains or common open space are to be located within the subdivision		
Initial _____			



## Preliminary Plat Process

- 1 A pre-application meeting is not required prior to submitting an application, but is highly recommended. Pre-application meetings are held on Tuesday afternoons, as needed.
- 2 Following the submission of all required documents, the complete application will be distributed to City department heads and any government departments or agencies deemed appropriate. The City shall have at least 14 days to review the application prior to scheduling a Development Review Conference (DRC).
- 3 The Planning Department will schedule a Development Review Conference (DRC) with the developer, engineer, and department heads. The DRC will review the preliminary plat application for compliance with applicable approval requirements. DRC's are held on Wednesdays at 9:00am at Herriman City Hall (5355 W. Herriman Main Street). The applicant will receive written minutes of all DRC comments.
- 4 The developer shall contact the Community Development Coordinator at the City to schedule a neighborhood meeting. A neighborhood meeting must be held prior to being placed on the Planning Commission Agenda.
- 5 The Planning Commission will schedule and hold a public hearing on the proposed preliminary plat application. A 10-day notice is mailed by the City to all affected entities. Public hearings are held at Herriman City Hall. Before approval or disapproval of the preliminary plat, the Planning Commission may reasonably require the applicant to provide additional information, data, or studies as may be needed to determine compliance with approval requirements.
- 6 Following the public hearing, the Planning Commission may approve, approve subject to conditions, or disapprove the preliminary plat based on written findings and recommendations regarding compliance with approval requirements.
- 7 After receiving Planning Commission approval, the developer submits a Final Plat Application to the Engineering Department for review and approval. This shall include a full set of engineered drawings compliant with the Herriman City Land Development Code and Engineering Standards.
- 8 Staff will then review and approve the final plat application. No further Planning Commission or City Council meetings are required.

All information should be submitted electronically to [planning@herriman.org](mailto:planning@herriman.org).

For questions regarding submittal requirements or process, please contact the Planning Department at 801-446-5323, or email [planning@herriman.org](mailto:planning@herriman.org).

**Attachment - B**  
**Vicinity/Zoning Map**



# Zoning

- A-1-21
- A-1-10
- A-1-43
- C-1 Neighborhood Commercial
- C-2 Community Commercial
- AMSD Auto Mall Special District
- FR-1 Forestry Recreation - 1 acre min.
- FR-2.5 Forestry Recreation - 2 1/2 acre min.
- FR-5 Forestry Recreation - 5 acre min.
- M-1 Manufacturing Zone
- TM Technology Manufacturing
- MU Mixed Use
- MU-2 Mixed Use 2 Zone
- OP Office Professional
- R-1-10 Residential - single family on 10,000 sq. ft. min.
- R-1-15 Residential - single family on 15,000 sq. ft. min.
- R-1-21 Residential - single family/limited animal uses on 1/2 acre min.
- R-2-10 Residential - single family or dwelling group on 10,000 sq. ft. min.
- R-2-15 Medium Density Residential
- R-M Residential - multi-family
- RC Resort Community Zone

Travis Boyd Cir

A-1-10

Blayde Dr

Lamont Lowell Cir

Rose Cyn Rd

SUBJECT PROPERTY

Ralph H Way

Tick Ln

A-1-21

Desert Lily Cir

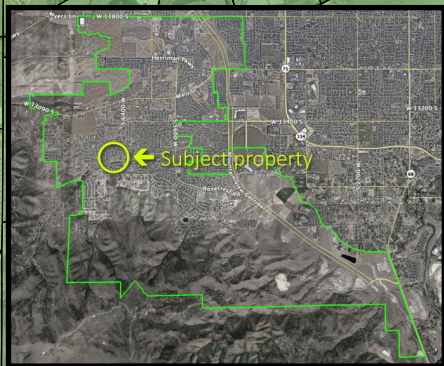
A-1-10

Davin View Dr

Desert Wash Way

Candice View Cv

Blayde Dr





**Attachment - C**  
**Preliminary Plat**



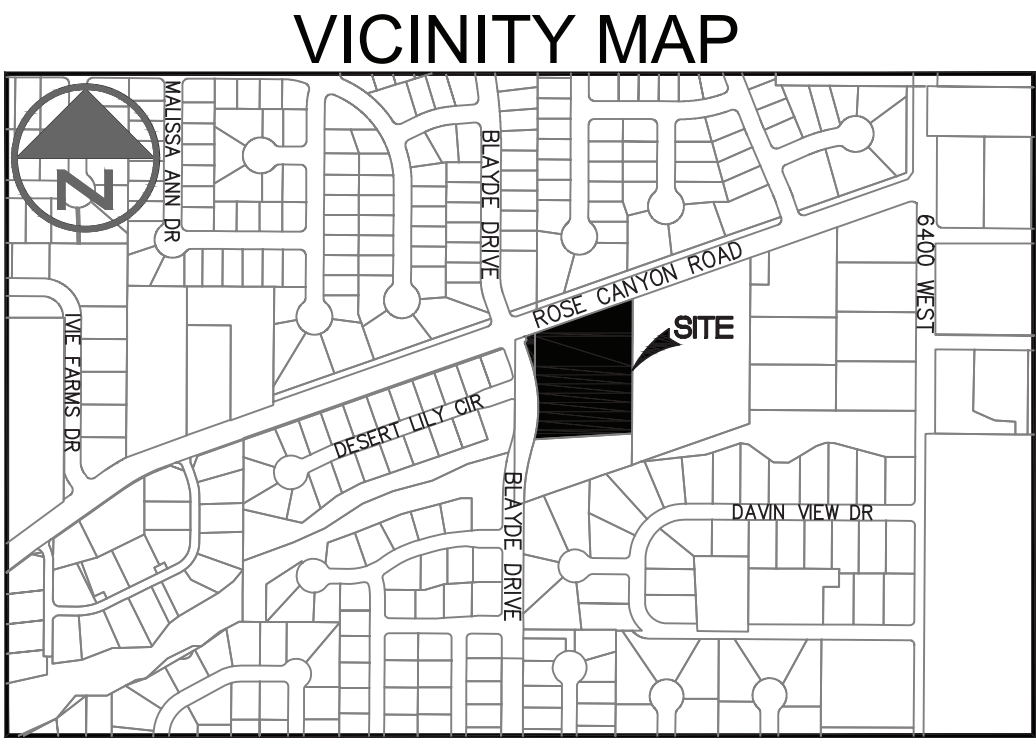
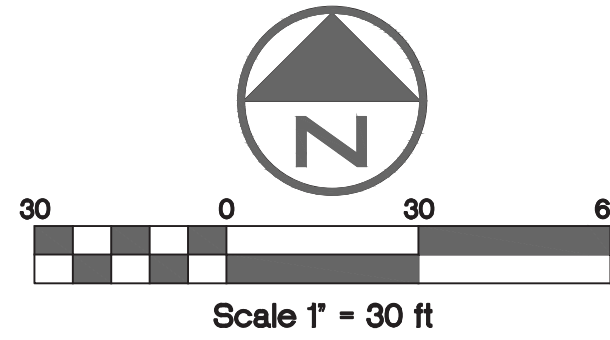
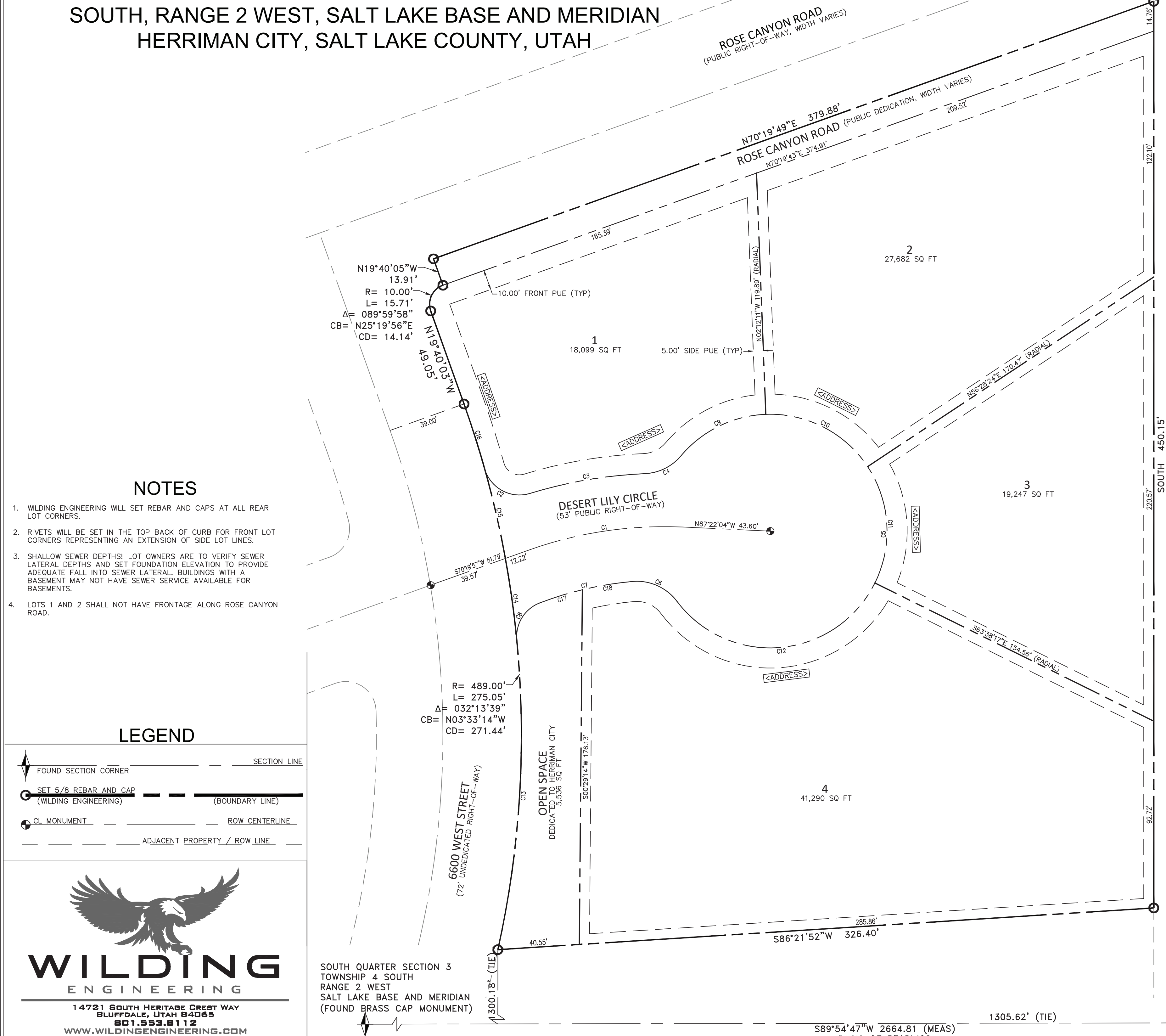


# KAYSON COVE

## A RESIDENTIAL SUBDIVISION

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN  
HERRIMAN CITY, SALT LAKE COUNTY, UTAH

Oringal approved Preliminary Plat - S2022-103



CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	77.84'	200.00'	22°17'59"	S81°28'56"W	77.35'
C2	28.70'	18.00'	91°21'38"	S61°24'11"E	25.76'
C3	57.86'	226.50'	14°38'12"	S80°14'06"W	57.70'
C4	20.70'	25.00'	47°26'02"	N63°50'11"E	20.11'
C5	286.39'	58.00'	282°54'58"	N01°34'39"E	72.28'
C6	25.43'	25.00'	58°17'02"	N66°06'23"W	24.35'
C7	47.11'	173.50'	15°33'24"	S76°58'24"W	46.96'
C8	23.48'	18.00'	74°44'44"	S31°49'21"W	21.85'
C9	48.26'	58.00'	47°40'39"	S63°57'30"W	46.88'
C10	59.40'	58.00'	58°40'35"	N62°51'53"W	56.84'
C11	60.62'	58.00'	59°53'18"	N03°34'57"W	57.90'
C12	118.11'	58.00'	116°40'26"	N84°41'55"E	98.73'
C13	154.57'	489.00'	18°06'37"	N03°30'17"E	153.92'
C14	41.01'	489.00'	4°48'17"	N07°57'09"W	40.99'
C15	45.81'	489.00'	5°22'04"	N13°02'20"W	45.80'
C16	33.67'	489.00'	3°56'41"	N17°41'43"W	33.66'
C17	22.03'	173.50'	7°16'26"	S72°49'55"W	22.01'
C18	25.08'	173.50'	8°16'58"	S80°36'37"W	25.06'

SURVEYOR'S CERTIFICATE:

I, KAGAN M. DIXON, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 9061091 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT OF THE STATE OF UTAH. I FURTHER CERTIFY THAT, BY THE AUTHORITY OF THE OWNER, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, AND THAT I HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, HEREAFTER TO BE KNOWN AS:

KAYSON COVE - A RESIDENTIAL SUBDIVISION

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

DATE

BOUNDARY DESCRIPTION:

A TRACT OF LAND BEING SITUATE IN THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, HAVING A BASIS OF BEARINGS OF SOUTH 89°54'47" WEST BETWEEN THE SOUTHEAST AND SOUTH QUARTER OF SAID SECTION 3, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH IS SOUTH 89°54'47" WEST ALONG THE SECTION LINE A DISTANCE OF 1,305.62 FEET AND NORTH 1,300.18 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON THE EAST LINE OF 6600 WEST STREET, AND RUNNING THENCE ALONG SAID EAST LINE THE FOLLOWING TWO (2) COURSES, 1) ALONG A 489.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 275.05 FEET THROUGH A CENTRAL ANGLE OF 321°3'39" (CHORD BEARS NORTH 03°33'14" WEST 271.44 FEET), 2) NORTH 19°40'03" WEST 49.05 FEET TO THE POINT OF A 10.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT; THENCE ALONG SAID CURVE A DISTANCE OF 15.71 FEET THROUGH A CENTRAL ANGLE OF 89°59'58" (CHORD BEARS NORTH 25°19'58" EAST 14.14 FEET); THENCE NORTH 19°40'05" WEST 13.91 FEET TO THE SOUTH LINE OF ROSE CANYON ROAD; THENCE NORTH 70°19'49" EAST ALONG SAID SOUTH LINE A DISTANCE OF 379.88 FEET; THENCE SOUTH 450.15 FEET; THENCE SOUTH 86°21'52" WEST 326.40 FEET TO THE POINT OF BEGINNING.

CONTAINS 131,975 SQUARE FEET OR 3.030 ACRES, MORE OR LESS.

OWNER'S DEDICATION:

KNOWN ALL BY THESE PRESENTS THAT WE THE UNDERSIGNED OWNER(S) OF THE DESCRIBED TRACT OF LAND ABOVE, HAVING CAUSE THE SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO HEREAFTER BE KNOWN AS:

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE, AND WARRANT, DEFEND, AND SAVE THE CITY HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON THE DEDICATED STREETS WHICH WILL INTERFERE WITH THE CITY'S USE, OPERATION, MAINTENANCE OF THE STREETS AND DO FURTHER DEDICATE THE EASEMENTS AS SHOWN FOR THE USE BY ALL SUPPLIERS OF UTILITY OR OTHER NECESSARY SERVICES. IN WITNESS WHEREOF, WE HAVE HERETO SET ASIDE OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_\_\_.

SIGNED:

ACKNOWLEDGEMENT

STATE OF UTAH } S.S.  
COUNTY OF UTAH }

THE FOREGOING INSTRUMENT(S) WAS ACKNOWLEDGED BEFORE ME ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY AND WHO REPRESENTED THAT THEY ARE THE OWNERS OF THE ABOVE DESCRIBED PROERTY AND HAVE AUTHORITY TO EXECUTE THIS INSTRUMENT.

PRINTED NAME, A NOTARY PUBLIC COMMISSIONED IN UTAH

COMMISSION NUMBER      EXPIRATION DATE

ACKNOWLEDGEMENT

STATE OF UTAH } S.S.  
COUNTY OF UTAH }

THE FOREGOING INSTRUMENT(S) WAS ACKNOWLEDGED BEFORE ME ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BY AND WHO REPRESENTED THAT THEY ARE THE OWNERS OF THE ABOVE DESCRIBED PROERTY AND HAVE AUTHORITY TO EXECUTE THIS INSTRUMENT.

PRINTED NAME, A NOTARY PUBLIC COMMISSIONED IN UTAH

COMMISSION NUMBER      EXPIRATION DATE

KAYSON COVE

A RESIDENTIAL SUBDIVISION

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN  
HERRIMAN CITY, SALT LAKE COUNTY, UTAH

RECORD #

STATE OF UTAH COUNTY OF SALT LAKE RECORDED AND FILED AT THE REQUEST OF

DATE \_\_\_\_\_ TIME \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

FEE \$ \_\_\_\_\_ DEPUTY, SALT LAKE COUNTY RECORDER

NOTES

1. WILDING ENGINEERING WILL SET REBAR AND CAPS AT ALL REAR LOT CORNERS.

2. RIVETS WILL BE SET IN THE TOP BACK OF CURB FOR FRONT LOT CORNERS REPRESENTING AN EXTENSION OF SIDE LOT LINES.

3. SHALLOW SEWER DEPTHS! LOT OWNERS ARE TO VERIFY SEWER LATERAL DEPTHS AND SET FOUNDATION ELEVATION TO PROVIDE ADEQUATE FALL INTO SEWER LATERAL. BUILDINGS WITH A BASEMENT MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENTS.

4. LOTS 1 AND 2 SHALL NOT HAVE FRONTAGE ALONG ROSE CANYON ROAD.

LEGEND

FOUND SECTION CORNER

SECTION LINE

SET 5/8 REBAR AND CAP (WILDING ENGINEERING)

BOUNDARY LINE

CL MONUMENT

ROW CENTERLINE

ADJACENT PROPERTY / ROW LINE

WILDING

ENGINEERING

14721 SOUTH HERITAGE CREST WAY  
BLUFFDALE, UTAH 84065  
801.553.8112  
WWW.WILDINGENGINEERING.COM

SOUTH QUARTER SECTION 3  
TOWNSHIP 4 SOUTH  
RANGE 2 WEST  
SALT LAKE BASE AND MERIDIAN  
(FOUND BRASS CAP MONUMENT)

HEALTH DEPARTMENT

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_ BY THE HEALTH DEPARTMENT.

REPRESENTATIVE

CHECKED FOR ZONING

ZONE: \_\_\_\_\_ DATE: \_\_\_\_\_

AREA: \_\_\_\_\_ WIDTH: \_\_\_\_\_

NAME: \_\_\_\_\_

COMCAST

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_ BY COMCAST.

REPRESENTATIVE

PLANNING COMMISSION

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_  
BY HERRIMAN CITY PLANNING COMMISSION

CHAIRMAN: HERRIMAN PLANNING COMMISSION

CENTURY LINK COMMUNICATION

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_ BY CENTURY LINK COMMUNICATIONS.

REPRESENTATIVE

HERRIMAN CITY MUNICIPAL WATER

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_  
BY HERRIMAN CITY MUNICIPAL WATER.

HERRIMAN CITY

ROCKY MOUNTAIN POWER

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_ BY ROCKY MOUNTAIN POWER.

REPRESENTATIVE

HERRIMAN CITY ENGINEER

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

HERRIMAN CITY ENGINEER      DATE

SOUTH VALLEY SEWER DISTRICT

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_ BY SOUTH VALLEY SEWER DISTRICT.

REPRESENTATIVE

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_

HERRIMAN CITY ATTORNEY

DOMINION ENERGY

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_ BY DOMINION ENERGY.

REPRESENTATIVE

HERRIMAN CITY

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_  
BY HERRIMAN CITY.

ATTEST: RECORDER      PLANNING DIRECTOR





# KAYSAN COVE

## A RESIDENTIAL SUBDIVISION

## FINAL CONSTRUCTION DRAWINGS

## HERRIMAN CITY, UTAH



### WILDING

ENGINEERING

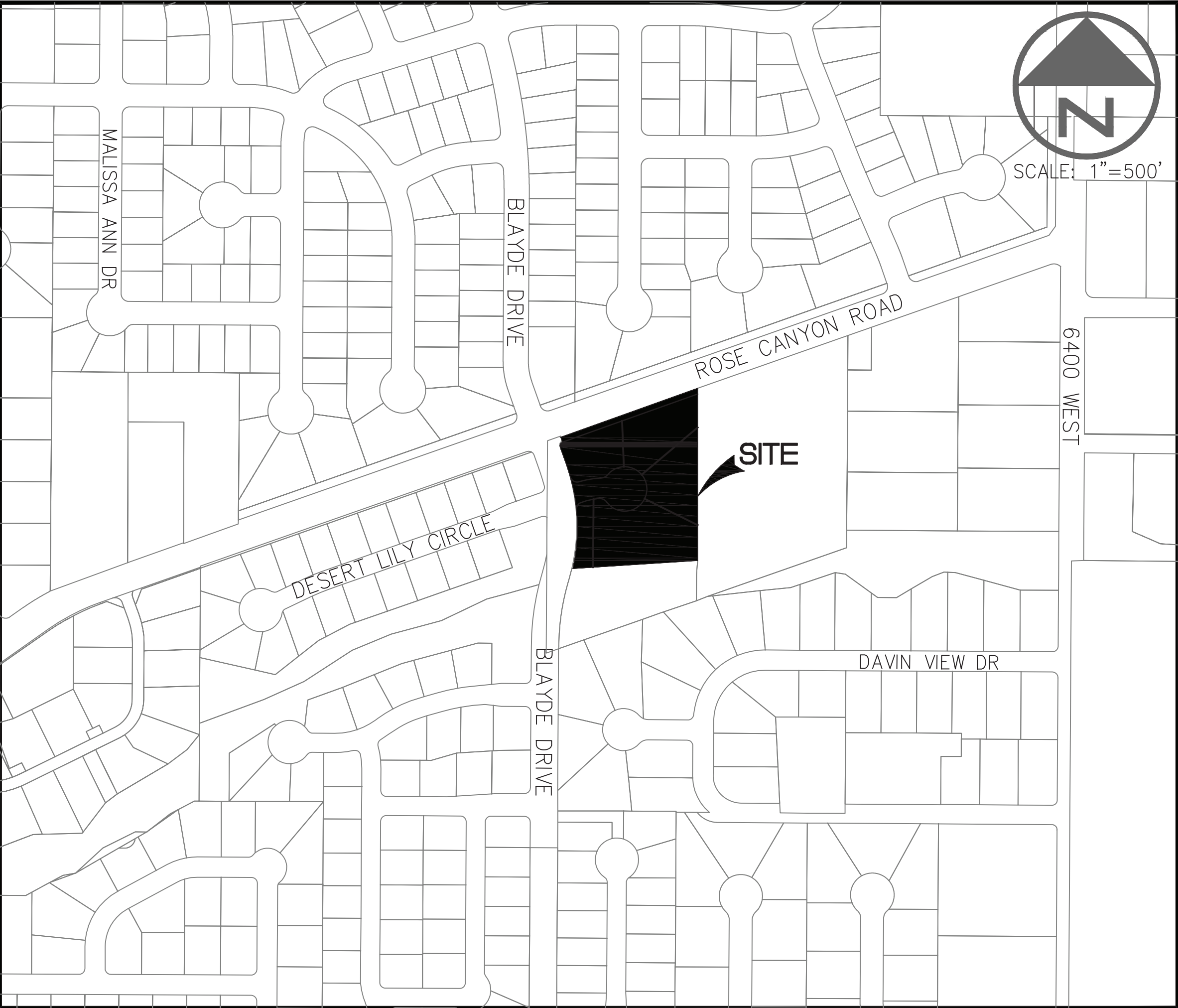
14721 SOUTH HERITAGE CREST WAY  
BLUFFDALE, UTAH 84065  
801.553.8112  
WWW.WILDINGENGINEERING.COM

DRAWING NOTES:

### GENERAL NOTES

- THE CONTRACTOR SHALL READ AND ADHERE TO ALL HERRIMAN CITY NOTES AND CITY STANDARDS, WHICH CAN BE FOUND ON HERRIMAN CITY'S WEBSITE.
- PRIOR TO ANY WORK BEING PERFORMED, THE CONTRACTOR SHALL OBTAIN A LAND DISTURBANCE PERMIT FROM THE HERRIMAN CITY ENGINEERING DEPARTMENT.
- A DEMOLITION PERMIT FROM HERRIMAN CITY AND THE DIVISION OF AIR QUALITY IS REQUIRED PRIOR TO PERFORMING ANY DEMOLITION ON SITE.

### VICINITY MAP



### SHEET INDEX

C101	COVER SHEET
1 OF 1	RECORD OF SURVEY
1 OF 1	KAYSAN COVE FINAL PLAT
C201	MASTER UTILITY PLAN
C202	MASTER GRADING AND DRAINAGE PLAN
C203	MASTER EROSION CONTROL PLAN
C301	KAYSAN COVE PLAN & PROFILE
C302	ROSE CANYON ROAD IMPROVEMENTS
C303	DETENTION/RETENTION BASIN
C401	CONSTRUCTION DETAILS
C402	CONSTRUCTION DETAILS
C403	CONSTRUCTION DETAILS
C404	STREAM ALTERATION PLAN

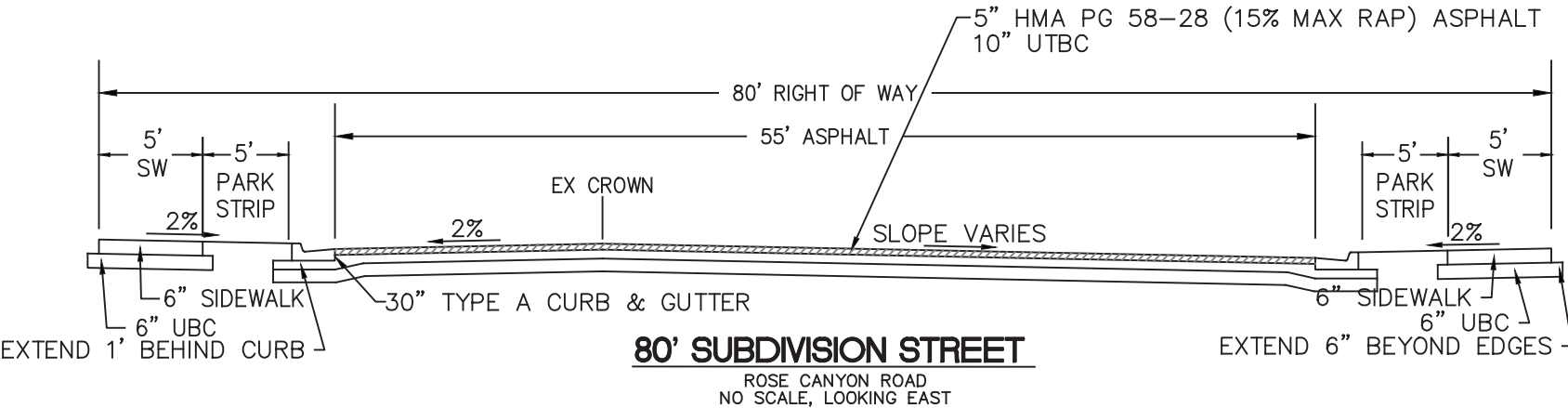
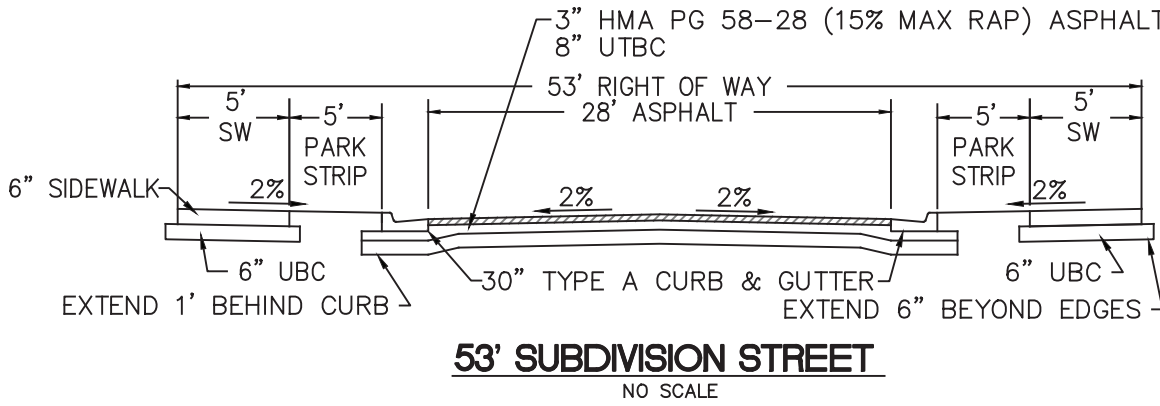
### CONTACT INFORMATION

DEVELOPER/OWNER:

ADNAN AFRIDI  
14357 S LONG RIDGE DR  
HERRIMAN, UT 84096  
(801) 231-3332  
adnan.a@whiterhinoproducts.com

ENGINEER:

WILDING ENGINEERING  
MIKE CARLTON, P.E.  
14721 S HERITAGE CREST WAY  
BLUFFDALE, UT 84065  
(801) 553-8112  
mcarlton@wildingengineering.com



NO.	REVISION	DATE
5	HERRIMAN CITY COMMENT	2/16/23
4	ADDED LOT 5	1/16/23
3	HERRIMAN CITY COMMENT	12/20/22
2	LOT LINE ADJUSTMENTS	12/14/22
1	HERRIMAN CITY COMMENT	11/22/22

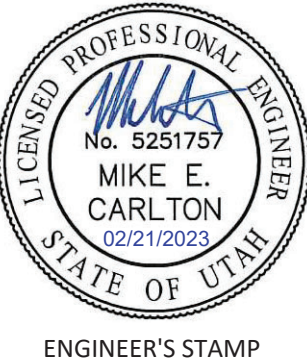
PROJECT INFORMATION

KAYSAN COVE

COVER SHEET

HERRIMAN CITY, UTAH

DRAWN TMC	CHECKED MEC	PROJECT # 22207
DATE 10/19/22		
SCALE NONE		
SHEET C101		

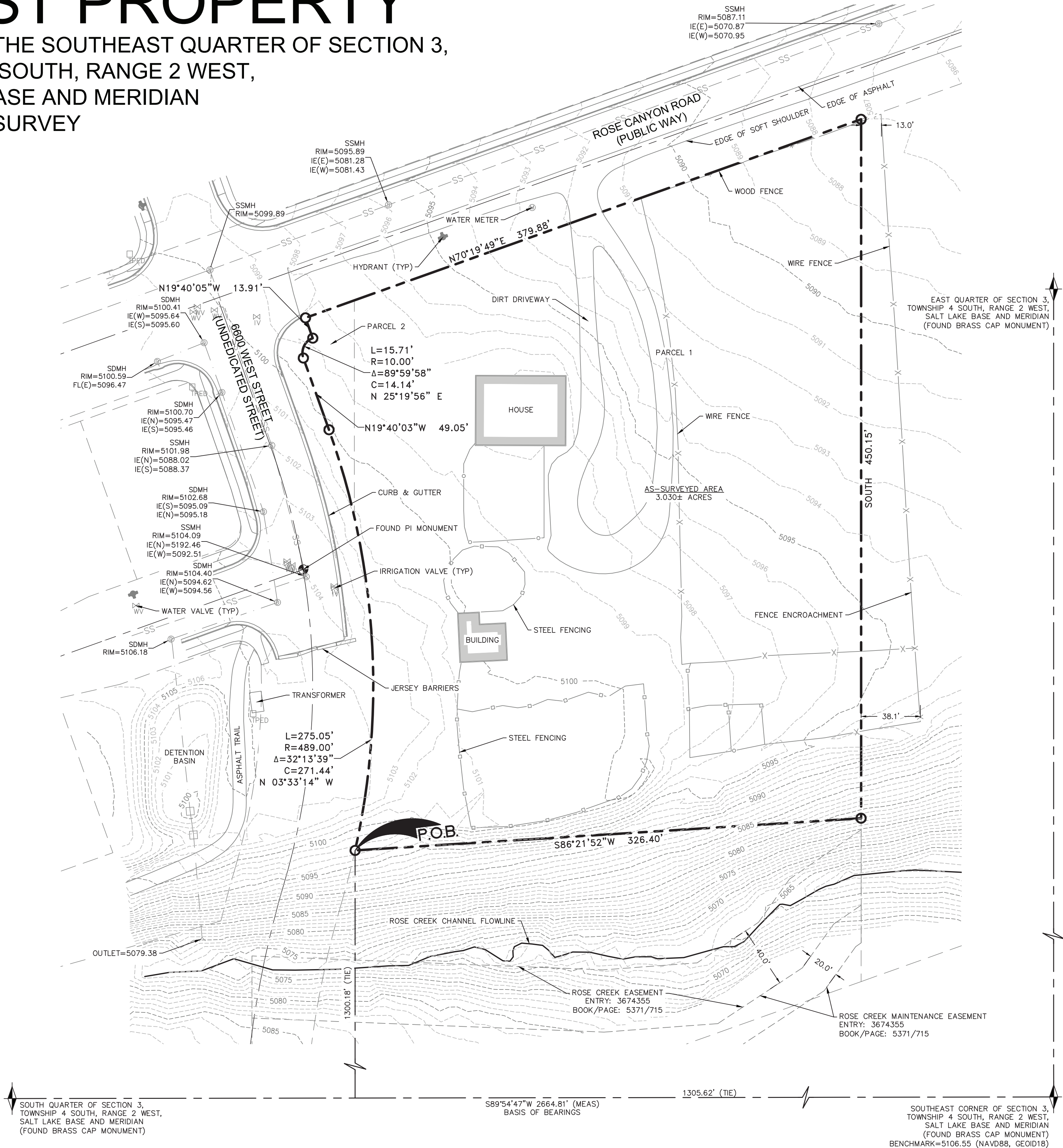


S:\DATA\22207 Kaysan Cove.dwg 22207 Kaysan Cove C101 Overall Sheets.dwg  
PLOT DATE: Feb 21, 2023



# FROST PROPERTY

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 3,  
TOWNSHIP 4 SOUTH, RANGE 2 WEST,  
SALT LAKE BASE AND MERIDIAN  
RECORD OF SURVEY



UTILITY STATEMENT:  
THE UNDERGROUND UTILITIES SHOWN HEREON HAVE BEEN LOCATED FROM FIELD OBSERVATIONS AND UTILITY MARKINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN HEREON COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES STATE THAT THE UTILITIES SHOWN HEREON ARE LOCATED AS ACCURATELY AS POSSIBLE, FROM INFORMATION AVAILABLE AT THE TIME THE SURVEY WAS CONDUCTED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES AND THE EXACT LOCATION OF SOME UTILITIES MAY REQUIRE FURTHER FIELD INVESTIGATION OR EXCAVATION TO DETERMINE THEIR PRECISE LOCATIONS.

NO.	REVISION	DATE

DRAWING TITLE	PROJECT NAME	DATE
RECORD OF SURVEY	ADNAN AFRIDI	6/10/2022
LOCATION	DRAWN	SCALE
6573 W ROSE CANYON RD	KMD	1" = 40'
HERRIMAN, UTAH	CHECKED	SHEET
	KMD	1 OF 1
	COUNTY	
	SALT LAKE	

## AS-SURVEYED AGGREGATE DESCRIPTION

A TRACT OF LAND BEING SITUATE IN THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, HAVING A BASIS OF BEARINGS OF SOUTH 89°54'47" WEST BETWEEN THE SOUTHEAST AND SOUTH QUARTER OF SAID SECTION 3, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH IS SOUTH 89°54'47" WEST ALONG THE SECTION LINE A DISTANCE OF 1,305.62 FEET AND NORTH 1,300.18 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON THE EAST LINE OF 6600 WEST STREET, AND RUNNING THENCE ALONG SAID EAST LINE THE FOLLOWING TWO (2) COURSES, 1) ALONG A 489.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 275.05 FEET THROUGH A CENTRAL ANGLE OF 32°13'39" (CHORD BEARS NORTH 03°33'14" WEST 271.44 FEET), 2) NORTH 19°40'03" WEST 49.05 FEET TO THE POINT OF A 10.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT; THENCE ALONG SAID CURVE A DISTANCE OF 15.71 FEET THROUGH A CENTRAL ANGLE OF 89°59'58" (CHORD BEARS NORTH 25°19'56" EAST 14.14 FEET); THENCE NORTH 19°40'03" WEST 13.91 FEET TO THE SOUTH LINE OF ROSE CANYON ROAD; THENCE NORTH 70°19'49" EAST ALONG SAID SOUTH LINE A DISTANCE OF 379.88 FEET; THENCE SOUTH 450.15 FEET; THENCE SOUTH 86°21'52" WEST 326.40 FEET TO THE POINT OF BEGINNING. CONTAINS 131,975 SQUARE FEET OR 3.030 ACRES, MORE OR LESS.

## BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS SOUTH 89°54'47" WEST BETWEEN THE SOUTHEAST AND SOUTH QUARTER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN.

## NARRATIVE OF BOUNDARY

THE PURPOSE OF THIS SURVEY WAS TO LOCATE AND MONUMENT ON THE GROUND THE SURVEYED PROPERTY FOR THE PURPOSE OF FUTURE RESIDENTIAL DEVELOPMENT.

DEEDS BETWEEN THE SURVEYED PROPERTY AND ADJOINERS WERE GENERAL CONSISTENT WITH ONE ANOTHER. HOWEVER, THERE WAS A SLIGHT MATHEMATICAL DISCREPANCY BETWEEN THE AREA DESCRIBED IN THE HERRIMAN CITY PROPERTY CONDEMNATION DEED AND DESERT CREEK PUD PLAT "A" AMENDED FOR THE 6600 WEST RIGHT-OF-WAY. DESERT CREEK PUD PLAT "A" AMENDED WAS HELD AS IT IS BELIEVED TO BE THE TRUE LOCATION OF THE PROPOSED RIGHT-OF-WAY.

THE EAST LINE OF THE BOUNDARY IS MATHEMATICALLY CONSISTENT WITH THE DEED LINE DESCRIBED WITH THE CATHOLIC DIOCESE PARCEL ADJOINING IT. THERE APPEARS TO BE A SIGNIFICANT ENCROACHMENT INTO THE ADJOINING PROPERTY BY THE PASTURE FENCES BUILT. IT IS SUGGESTED THAT ANY CLAIM OF ACQUISITION BE DISCUSSED WITH THE ADJOINING PROPERTY OWNER AND A BOUNDARY LINE AGREEMENT BE RECORDED.

## GENERAL NOTES

(1) OTHER DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY:  
1. ALTA COMMITMENT FOR TITLE INSURANCE ISSUED BY STEWART TITLE GUARANTY COMPANY, COMMITMENT NUMBER 1705386, ISSUED APRIL 30, 2022.  
2. DESERT CREEK PUD PLAT "A" AMENDED SUBDIVISION, ON FILE WITH THE OFFICE OF THE SALT LAKE COUNTY RECORDER IN BOOK 2010P, AT PAGE 38 OF PLATS.  
3. OTHER DOCUMENTS AS SHOWN ON THIS MAP

(2) WILDLING ENGINEERING SURVEYED ABOVE GROUND VISIBLE EVIDENCE OF STRUCTURES THAT WOULD INDICATE THE POSSIBILITY OF AN EXISTING EASEMENT OR ENCUMBRANCE ON THE PROPERTY, HOWEVER WE RELIED UPON THE TITLE COMPANY TO RESEARCH THE TITLE RECORDS FOR RECORDED EASEMENTS AND OTHER RECORDED ENCUMBRANCES THAT WOULD AFFECT THE PROPERTY AND THAT MAY OR MAY NOT BE READILY VISIBLE ON THE SITE TO BE SURVEYED AND SHOWN ON THIS MAP. WE REFERRED TO SCHEDULE B, PART 2 OF THE TITLE REPORT TO OBTAIN THIS INFORMATION.

(3) ITEMS AS SHOWN IN SCHEDULE B, PART 2 OF THE ABOVE REFERENCED COMMITMENT FOR TITLE INSURANCE HAVE BEEN ADDRESSED AS FOLLOWS:

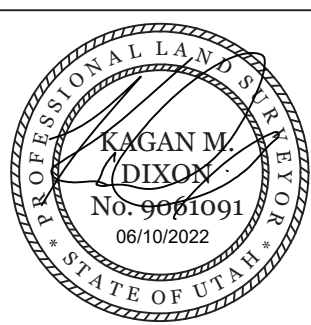
- 1-4 NOT ADDRESSED BY THIS SURVEY.
- 5 ANY ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATION, OR ADVERSE CIRCUMSTANCE AFFECTING THE TITLE THAT WOULD BE DISCLOSED BY AN ACCURATE AND COMPLETE LAND SURVEY OF THE LAND AND NOT SHOWN BY THE PUBLIC RECORDS.  
SURVEY NOTES: SEE THE NARRATIVE RELATING TO A SUBSTANTIAL ENCROACHMENT NEAR THE EAST LINE OF THE PROPERTY.
- 6-17 NOT ADDRESSED BY THIS SURVEY.
- 18 ANY EASEMENTS AND/OR RIGHTS OF WAY FOR THE WATER DISTRIBUTION SYSTEM AND APPURTENANCES OF THE ROSE CREEK IRRIGATION SYSTEM AND/OR THE STATE OF UTAH BOARD OF WATER RESOURCES, AS THE SAME MAY BE FOUND TO INTERSECT THE HEREIN DESCRIBED LAND, AS DISCLOSED BY MESNE INSTRUMENTS OF RECORD, INCLUDING THAT CERTAIN EASEMENT TO USE DISTRIBUTION SYSTEM RECORDED AUGUST 24, 1971, AS ENTRY NO. 24405222, BOOK 2990, PAGE 878 OF PUBLIC RECORDS.  
SURVEY NOTES: DOCUMENT REFERENCES INFRASTRUCTURE LOCATED WITHIN THE SECTION, BUT NO EXACT LOCATION IS DISCLOSED. THEREFORE, IT HAS NOT BEEN ADDRESSED BY THIS SURVEY.
- 19 EASEMENT, AND THE TERMS, CONDITIONS AND LIMITATIONS CONTAINED THEREIN, IN FAVOR OF SALT LAKE COUNTY, RECORDED MAY 12, 1982, AS ENTRY NO. 3674355, BOOK 5371, PAGE 715 OF PUBLIC RECORDS.  
SURVEY NOTES: SHOWN HEREON, HOWEVER IT DOES NOT APPEAR TO ENCUMBER THE SURVEYED PROPERTY.
- 20 ANY EASEMENTS AND/OR RIGHTS OF WAY FOR THE WATER DISTRIBUTION SYSTEM AND APPURTENANCES OF THE HERRIMAN PIPELINE & DEVELOPMENT COMPANY AND/OR THE STATE OF UTAH BOARD OF WATER RESOURCES, AS THE SAME MAY BE FOUND TO INTERSECT THE HEREIN DESCRIBED LAND, AS DISCLOSED BY MESNE INSTRUMENTS OF RECORD, INCLUDING THAT CERTAIN EASEMENT TO USE DISTRIBUTION SYSTEM RECORDED NOVEMBER 12, 1982, AS ENTRY NO. 4549283, BOOK 5978, PAGE 653 OF PUBLIC RECORDS.  
SURVEY NOTES: DOCUMENT REFERENCES INFRASTRUCTURE LOCATED WITHIN THE SECTION, BUT NO EXACT LOCATION IS DISCLOSED. THEREFORE, IT HAS NOT BEEN ADDRESSED BY THIS SURVEY.
- 21 EASEMENT, AND THE TERMS, CONDITIONS AND LIMITATIONS CONTAINED THEREIN, IN FAVOR OF SOUTH VALLEY SEWER DISTRICT, RECORDED JUNE 20, 2001, AS ENTRY NO. 7927790, BOOK 8470, PAGE 5419 OF PUBLIC RECORDS.  
SURVEY NOTES: DOES NOT ENCUMBER THE SURVEYED PROPERTY.
- 22-23 NOT ADDRESSED BY THIS SURVEY.

## LEGEND

- SECTION LINE
- FOUND SECTION CORNER
- EXISTING ROW CENTERLINE
- FOUND STREET MONUMENT
- SET 5/8 REBAR AND CAP (OR PLAT NOTED)
- BOUNDARY LINE
- ADJACENT PROPERTY / ROW LINE

## SURVEYOR'S CERTIFICATE:

I, KAGAN M. DIXON, SALT LAKE CITY, UTAH, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND THAT I HOLD LICENSE NO. 9061091 AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH; THAT I HAVE MADE A SURVEY OF THE FOLLOWING DESCRIBED PROPERTY; THAT THIS PLAT CORRECTLY SHOWS THE TRUE DIMENSIONS OF THE BOUNDARIES SURVEYED AND OF THE VISIBLE IMPROVEMENTS AFFECTING THE BOUNDARIES AND THEIR POSITION IN RELATIONSHIP TO SAID BOUNDARIES.



## RECORD DESCRIPTIONS

PARCEL 1:  
BEGINNING AT THE SOUTHWEST CORNER OF THE HOFFMANN PARCEL, WHICH POINT IS NORTH 1354.02 FEET AND WEST 587.53 FEET AND SOUTH 70°20'00" WEST, 416.55 FEET FROM THE SOUTHEAST CORNER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN; AND RUNNING THENCE SOUTH 70°20'00" WEST 416.55 FEET TO THE BURBIDGE PARCEL; THENCE NORTH 555.25 FEET TO THE SOUTHERLY LINE OF ROSE CANYON ROAD; THENCE NORTH 70°20'00" EAST 416.56 FEET; THENCE SOUTH 555.25 FEET TO THE PLACE OF BEGINNING.

EXCEPTING THEREFROM THAT PORTION CONVEYED TO WILLIAM DAVID FROST BY WARRANTY DEED RECORDED SEPTEMBER 4, 2007 AS ENTRY NO. 10212198 IN BOOK 9511 AT PAGE 3269, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT THAT IS 155.25 FEET NORTH OF A POINT THAT IS 416.44 FEET SOUTH 70°20'00" WEST FROM THE SOUTHWEST CORNER OF THE HOFFMAN PARCEL, WHICH POINT IS NORTH 1354.02 FEET AND WEST 587.53 FEET AND SOUTH 70°20'00" WEST, 416.55 FEET FROM THE SOUTHEAST CORNER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN; AND RUNNING THENCE NORTH 400 FEET TO THE SOUTHERLY LINE OF ROSE CANYON ROAD; THENCE NORTH 70°20'00" EAST 70.00 FEET; THENCE SOUTH 400 FEET; THENCE SOUTH 70°20'00" WEST 70.00 FEET TO THE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM THAT PORTION CONVEYED TO THE CITY OF HERRIMAN, A MUNICIPAL CORPORATION OF THE STATE OF UTAH, BY ORDER OF CONDEMNATION RECORDED FEBRUARY 12, 2010 AS ENTRY NO. 10896705 IN BOOK 9803 AT PAGE 7007; AND IN AFFIDAVIT OF CORRECTION RECORDED MARCH 5, 2010 AS ENTRY NO. 10909671 IN BOOK 9808 AT PAGE 8136, DESCRIBED AS FOLLOWS:

A PORTION OF THAT REAL PROPERTY DESCRIBED IN DEED BOOK 5097, PAGE 1491 IN THE OFFICIAL RECORDS OF SALT LAKE COUNTY LOCATED IN THE SOUTHWEST QUARTER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID REAL PROPERTY, SAID POINT BEING LOCATED N89°54'47" E ALONG THE SECTION LINE 1,292.66 FEET AND NORTH 1,075.63 FEET FROM THE SOUTH 1/4 CORNER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN; THENCE N0°00'14" W ALONG THE WEST LINE OF SAID REAL PROPERTY, 555.25 FEET; THENCE N70°19'46" E ALONG SAID REAL PROPERTY 36.33 FEET; THENCE S19°40'17" E 13.89 FEET; THENCE SOUTHWESTERLY ALONG THE ARC OF A 10.00 FOOT RADIUS NON-TANGENT CURVE TO THE LEFT (RADIUS BEARS: S19°40'17" E) 15.71 FEET THROUGH A CENTRAL ANGLE OF 89°59'58" (CHORD: S25°19'44" W 14.14 FEET); THENCE S19°40'15" E 49.59 FEET; THENCE ALONG THE ARC OF A 489.00 FOOT RADIUS CURVE TO THE RIGHT 308.29 FEET THROUGH A CENTRAL ANGLE OF 36°07'19" (CHORD: S1°36'35" E 303.21 FEET); THENCE ALONG THE ARC OF A 611.00 FOOT RADIUS CURVE TO THE LEFT 175.48 FEET THROUGH A CENTRAL ANGLE OF 16°27'18" (CHORD S8°13'25" W 174.87 FEET); THENCE S0°00'14" E 6.96 FEET TO THE SOUTH LINE OF SAID PROPERTY; THENCE S70°19'46" W 34.04 FEET TO THE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM THAT PORTION CONVEYED TO HERRIMAN CITY, A UTAH MUNICIPALITY BY QUIT CLAIM DEED RECORDED MAY 10, 2019 AS ENTRY NO. 12986046 IN BOOK 10779 AT PAGE 3117, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE HOFFMAN PARCEL, WHICH POINT IS NORTH 1354.02 FEET AND WEST 587.53 FEET AND SOUTH 70°20'00" WEST 416.55 FEET FROM THE SOUTHEAST CORNER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, SAID POINT ALSO BEING ON THE NORTHERLY BOUNDARY LINE OF THE OAKS AT ROSE CREEK SUBDIVISION, RECORDED AS ENTRY NO. 11190108, IN BOOK 2011P, AT PAGE 71, IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER; AND RUNNING THENCE SOUTH 70°20'00" WEST 381.52 FEET ALONG THE NORTHERLY BOUNDARY LINE OF SAID THE OAKS AT ROSE CREEK SUBDIVISION TO THE HERRIMAN CITY PARCEL AS DEFINED BY THE ORDER OF CONDEMNATION RECORDED FEBRUARY 12, 2010 AS ENTRY NO. 10896705, IN BOOK 9803, AT PAGE 7007, IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER; AND AS AFFIDAVIT OF CORRECTION RECORDED MARCH 5, 2010, AS ENTRY NO. 10909671, IN BOOK 9808, AT PAGE 8136, IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER; THENCE NORTH 0°00'14" WEST 6.96 FEET ALONG THE EASTERLY LINE OF SAID HERRIMAN CITY PARCEL; THENCE NORTHEASTERLY 175.48 FEET ALONG THE ARC OF A 611.00 FOOT RADIUS CURVE TO THE RIGHT (CENTER BEARS SOUTH 89°58'18" EAST AND THE CHORD BEARS NORTH 08°15'19" EAST 174.86 FEET WITH A CENTRAL ANGLE OF 16°27'14") ALONG THE EASTERLY LINE OF SAID HERRIMAN CITY PARCEL; THENCE NORTHEASTERLY 33.90 FEET ALONG THE ARC OF A 489.00 FOOT RADIUS CURVE TO THE LEFT (CENTER BEARS NORTH 3°32'42" WEST AND THE CHORD BEARS NORTH 14°28'09" EAST 33.89 FEET WITH A CENTRAL ANGLE OF 03°58'19") ALONG THE EASTERLY LINE OF SAID HERRIMAN CITY PARCEL; THENCE NORTH 86°21'52" EAST 326.35 FEET; THENCE SOUTH 105.12 FEET TO THE POINT OF BEGINNING.

PARCEL 2:  
BEGINNING AT A POINT THAT IS 155.25 FEET NORTH OF A POINT THAT IS 416.44 FEET SOUTH 70°20'00" WEST FROM THE SOUTHWEST CORNER OF THE HOFFMAN PARCEL, WHICH POINT IS NORTH 1354.02 FEET AND WEST 587.53 FEET AND SOUTH 70°20'00" WEST, 416.55 FEET FROM THE SOUTHEAST CORNER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN; AND RUNNING THENCE NORTH 400 FEET TO THE SOUTHERLY LINE OF ROSE CANYON ROAD; THENCE NORTH 70°20'00" EAST 70.00 FEET; THENCE SOUTH 400 FEET; THENCE SOUTH 70°20'00" WEST 70.00 FEET TO THE POINT OF BEGINNING.

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ALSO EXCEPTING THEREFROM THAT PORTION CONVEYED TO HERRIMAN CITY, A UTAH MUNICIPALITY BY QUIT CLAIM DEED RECORDED MAY 10, 2019 AS ENTRY NO. 12986046 IN BOOK 10779 AT PAGE 3117, DESCRIBED AS FOLLOWS:

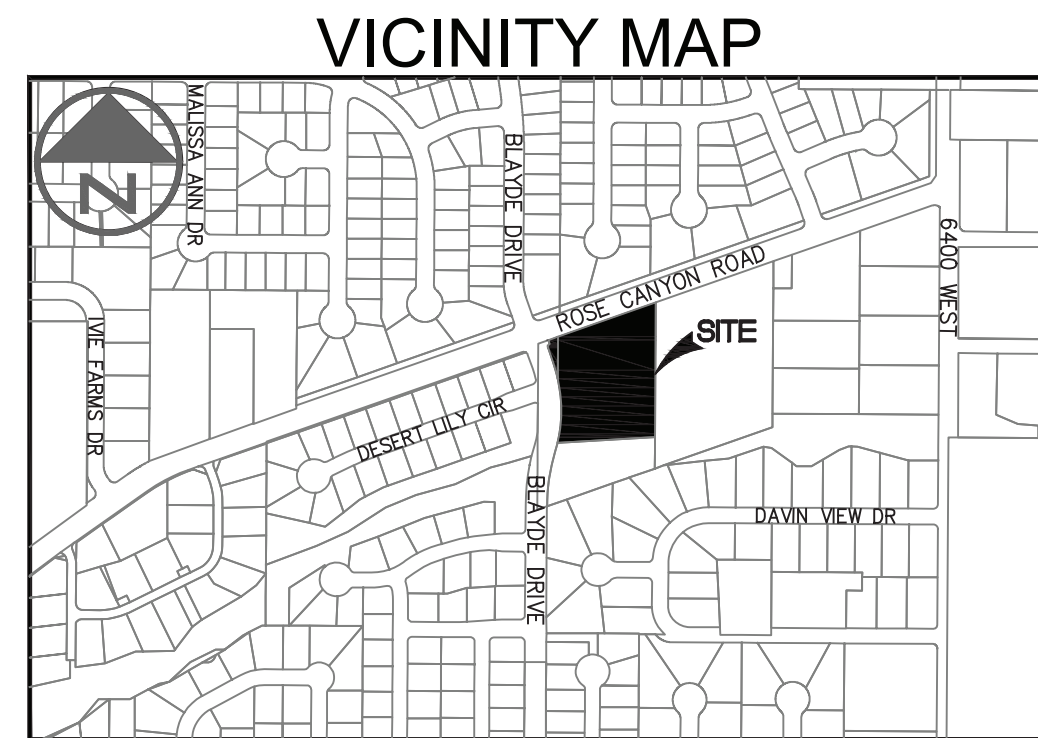
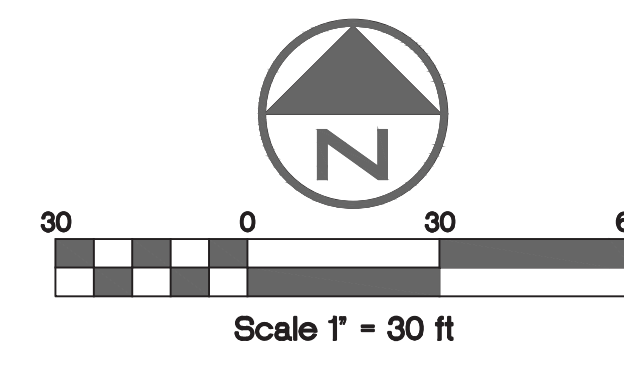
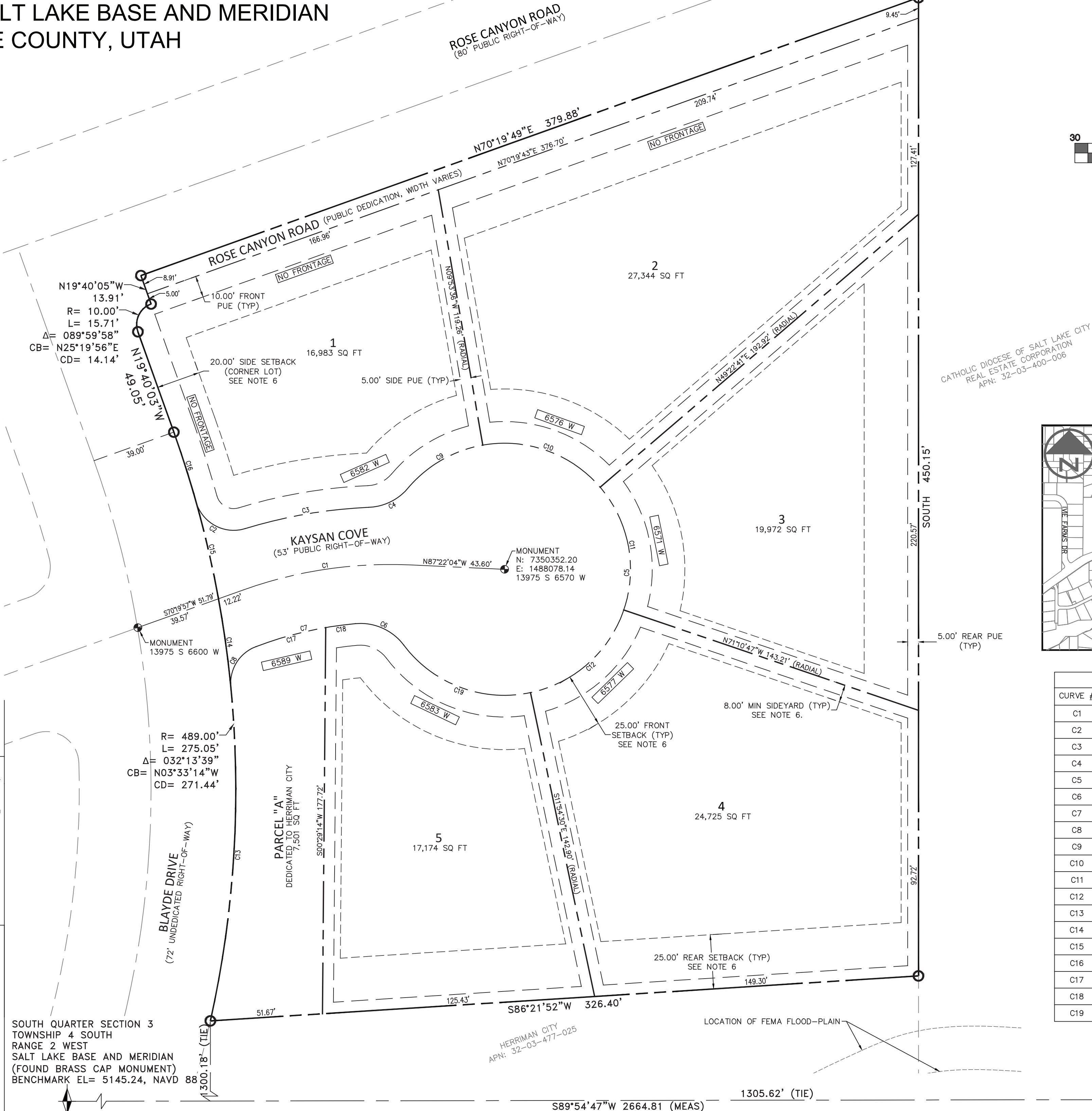
BEGINNING AT THE SOUTHWEST CORNER OF THE HOFFMAN PARCEL, WHICH POINT IS NORTH 1354.02 FEET AND WEST 587.53 FEET AND SOUTH 70°20'00" WEST 416.55 FEET FROM THE SOUTHEAST CORNER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, SAID POINT ALSO BEING ON THE NORTHERLY BOUNDARY LINE OF THE OAKS AT ROSE CREEK SUBDIVISION, RECORDED AS ENTRY NO. 11190108, IN BOOK 2011P, AT PAGE 71, IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER; AND RUNNING THENCE SOUTH 70°20'00" WEST 381.52 FEET ALONG THE NORTHERLY BOUNDARY LINE OF SAID THE OAKS AT ROSE CREEK SUBDIVISION TO THE HERRIMAN CITY PARCEL AS DEFINED BY THE ORDER OF CONDEMNATION RECORDED FEBRUARY 12, 2010 AS ENTRY NO. 10896705, IN BOOK 9803, AT PAGE 7007, IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER; AND AS AFFIDAVIT OF CORRECTION RECORDED MARCH 5, 2010, AS ENTRY NO. 10909671, IN BOOK 9808, AT PAGE 8136, IN THE OFFICE OF THE SALT LAKE COUNTY RECORDER; THENCE NORTH 0°00'14" WEST 6.96 FEET ALONG THE EASTERLY LINE OF SAID HERRIMAN CITY PARCEL; THENCE NORTHEASTERLY 175.48 FEET ALONG THE ARC OF A 611.00 FOOT RADIUS CURVE TO THE RIGHT (CENTER BEARS SOUTH 89°58'18" EAST AND THE CHORD BEARS NORTH 08°15'19" EAST 174.86 FEET WITH A CENTRAL ANGLE OF 16°27'14") ALONG THE EASTERLY LINE OF SAID HERRIMAN CITY PARCEL; THENCE NORTHEASTERLY 33.90 FEET ALONG THE ARC OF A 489.00 FOOT RADIUS CURVE TO THE LEFT (CENTER BEARS NORTH 3°32'42" WEST AND THE CHORD BEARS NORTH 14°28'09" EAST 33.89 FEET WITH A CENTRAL ANGLE OF 03°58'19") ALONG THE EASTERLY LINE OF SAID HERRIMAN CITY PARCEL; THENCE NORTH 86°21'52" EAST 326.35 FEET; THENCE SOUTH 105.12 FEET TO THE POINT OF BEGINNING.



# KAYSAN COVE

## A RESIDENTIAL SUBDIVISION

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN  
HERRIMAN CITY, SALT LAKE COUNTY, UTAH



CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	77.84'	200.00'	22°17'59"	S81°28'56"W	77.35'
C2	28.70'	18.00'	91°21'38"	S61°24'11"E	25.76'
C3	57.86'	226.50'	14°38'12"	S80°14'06"W	57.70'
C4	20.70'	25.00'	47°26'02"	N63°50'11"E	20.11'
C5	286.39'	58.00'	282°54'58"	N01°34'39"E	72.28'
C6	25.43'	25.00'	58°17'02"	N66°06'23"W	24.35'
C7	47.11'	173.50'	15°33'24"	S76°58'24"W	46.96'
C8	23.48'	18.00'	74°44'44"	S31°49'21"W	21.85'
C9	40.48'	58.00'	39°59'14"	S60°06'47"W	39.66'
C10	60.00'	58.00'	59°16'17"	N70°15'28"W	57.36'
C11	60.17'	58.00'	59°26'32"	N10°54'03"W	57.51'
C12	60.00'	58.00'	59°16'17"	N48°27'21"E	57.36'
C13	154.57'	489.00'	18°06'37"	N03°30'17"E	153.92'
C14	41.01'	489.00'	4°48'17"	N07°57'09"W	40.99'
C15	45.81'	489.00'	5°22'04"	N13°02'20"W	45.80'
C16	33.67'	489.00'	3°56'41"	N17°41'43"W	33.66'
C17	33.38'	173.50'	11°01'25"	S74°42'25"W	33.33'
C18	13.73'	173.50'	4°31'59"	S82°29'07"W	13.72'
C19	65.74'	58.00'	64°56'38"	S69°26'11"E	62.28'

- NOTES**
- WILDING ENGINEERING WILL SET REBAR AND CAPS AT ALL REAR LOT CORNERS.
  - RIVETS WILL BE SET IN THE TOP BACK OF CURB FOR FRONT LOT CORNERS REPRESENTING AN EXTENSION OF SIDE LOT LINES.
  - SHALLOW SEWER DEPTHS! LOT OWNERS ARE TO VERIFY SEWER LATERAL DEPTHS AND SET FOUNDATION ELEVATION TO PROVIDE ADEQUATE FALL INTO SEWER LATERAL. BUILDINGS WITH A BASEMENT MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENTS.
  - LOTS 1 AND 2 SHALL NOT HAVE FRONTAGE ALONG ROSE CANYON ROAD.
  - FEMA FLOOD ZONE AS SHOWN IS FROM MAP 4903SC0575G, EFFECTIVE DATE 9/25/2009.
  - SETBACKS PER HERRIMAN CITY A-1-10 ZONE ARE AS FOLLOWS:  
25' FRONT YARD (AGAINST RIGHT-OF-WAY).  
8' MIN. SIDEYARD WITH A COMBINED TOTAL OF 18'.  
20' SIDEYARD ON CORNER LOTS (STREETSIDE).  
25' REAR YARD.

**LEGEND**

FOUND SECTION CORNER — SECTION LINE

SET 5/8 REBAR AND CAP (WILDING ENGINEERING) — (BOUNDARY LINE)

CL MONUMENT — ROW CENTERLINE

ADJACENT PROPERTY / ROW LINE

LOT SETBACK LINE (SEE NOTE 6)

PUBLIC UTILITY EASEMENT LINE

**WILDING ENGINEERING**

14721 SOUTH HERITAGE CREST WAY  
BLUFFDALE, UTAH 84065  
801.553.8112  
WWW.WILDINGENGINEERING.COM

**HEALTH DEPARTMENT**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_ BY THE HEALTH DEPARTMENT.

REPRESENTATIVE \_\_\_\_\_

**CHECKED FOR ZONING**

ZONE: \_\_\_\_\_ DATE: \_\_\_\_\_

AREA: \_\_\_\_\_ WIDTH: \_\_\_\_\_

NAME: \_\_\_\_\_

**COMCAST**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_ BY COMCAST.

REPRESENTATIVE \_\_\_\_\_

**PLANNING COMMISSION**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_  
BY HERRIMAN CITY PLANNING COMMISSION

CHAIRMAN: HERRIMAN PLANNING COMMISSION \_\_\_\_\_

**CENTURY LINK COMMUNICATION**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_ BY CENTURY LINK COMMUNICATIONS.

REPRESENTATIVE \_\_\_\_\_

**HERRIMAN CITY MUNICIPAL WATER**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_  
BY HERRIMAN CITY MUNICIPAL WATER.

HERRIMAN CITY \_\_\_\_\_

**ROCKY MOUNTAIN POWER**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_ BY ROCKY MOUNTAIN POWER.

REPRESENTATIVE \_\_\_\_\_

**HERRIMAN CITY ENGINEER**

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT  
AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN  
THIS OFFICE.

HERRIMAN CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

**SOUTH VALLEY SEWER DISTRICT**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_ BY SOUTH VALLEY SEWER DISTRICT.

REPRESENTATIVE \_\_\_\_\_

**APPROVAL AS TO FORM**

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_

HERRIMAN CITY ATTORNEY \_\_\_\_\_

**DOMINION ENERGY**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_ BY DOMINION ENERGY.

REPRESENTATIVE \_\_\_\_\_

**HERRIMAN CITY**

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_  
BY HERRIMAN CITY.

ATTEST: RECORDER \_\_\_\_\_ PLANNING DIRECTOR \_\_\_\_\_

**SURVEYOR'S CERTIFICATE:**

I, KAGAN M. DIXON, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 9061091 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT OF THE STATE OF UTAH. I FURTHER CERTIFY THAT, BY THE AUTHORITY OF THE OWNER, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, AND THAT I HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, HEREAFTER TO BE KNOWN AS:

**KAYSAN COVE - A RESIDENTIAL SUBDIVISION**

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

DATE \_\_\_\_\_

**BOUNDARY DESCRIPTION:**

A TRACT OF LAND BEING SITUATE IN THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, HAVING A BASIS OF BEARINGS OF SOUTH 89°54'47" WEST BETWEEN THE SOUTHEAST AND SOUTH QUARTER OF SAID SECTION 3, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH IS SOUTH 89°54'47" WEST ALONG THE SECTION LINE A DISTANCE OF 1,305.62 FEET AND NORTH 1,300.18 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON THE EAST LINE OF 6600 WEST STREET, AND RUNNING THENCE ALONG SAID EAST LINE THE FOLLOWING TWO (2) COURSES, 1) ALONG A 489.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 275.05 FEET THROUGH A CENTRAL ANGLE OF 321°3'39" (CHORD BEARS NORTH 03°33'14" WEST 271.44 FEET), 2) NORTH 19°40'03" WEST 49.05 FEET TO THE POINT OF A 10.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT; THENCE ALONG SAID CURVE A DISTANCE OF 15.71 FEET THROUGH A CENTRAL ANGLE OF 89°59'58" (CHORD BEARS NORTH 25°19'58" EAST 14.14 FEET); THENCE NORTH 19°40'05" WEST 13.91 FEET TO THE SOUTH LINE OF ROSE CANYON ROAD; THENCE NORTH 70°19'49" EAST ALONG SAID SOUTH LINE A DISTANCE OF 379.88 FEET; THENCE SOUTH 450.15 FEET; THENCE SOUTH 86°21'52" WEST 326.40 FEET TO THE POINT OF BEGINNING.

CONTAINS 131,975 SQUARE FEET OR 3.030 ACRES, MORE OR LESS.

**OWNER'S DEDICATION:**

KNOWN ALL BY THESE PRESENTS THAT WE THE UNDERSIGNED OWNER(S) OF THE DESCRIBED TRACT OF LAND ABOVE, HAVING CAUSE THE SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO HEREAFTER BE KNOWN AS:

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE, AND WARRANT, DEFEND, AND SAVE THE CITY HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON THE DEDICATED STREETS WHICH WILL INTERFERE WITH THE CITY'S USE, OPERATION, MAINTENANCE OF THE STREETS AND DO FURTHER DEDICATE THE EASEMENTS AS SHOWN FOR THE USE BY ALL SUPPLIERS OF UTILITY OR OTHER NECESSARY SERVICES. IN WITNESS WHEREOF, WE HAVE HEREUNTO SET ASIDE OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_

SIGNED: \_\_\_\_\_ SIGNED: \_\_\_\_\_

**ACKNOWLEDGEMENT**

STATE OF UTAH } S.S.  
COUNTY OF UTAH }

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, IN THE YEAR 20\_\_\_\_, BEFORE ME, \_\_\_\_\_, PERSONALLY APPEARED \_\_\_\_\_ AND PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAMES ARE SUBSCRIBED TO IN THIS DOCUMENT, AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME.

SIGNATURE \_\_\_\_\_ PRINTED NAME, A NOTARY PUBLIC COMMISSIONED IN UTAH \_\_\_\_\_

COMMISSION NUMBER \_\_\_\_\_ EXPIRATION DATE \_\_\_\_\_

**ACKNOWLEDGEMENT**

STATE OF UTAH } S.S.  
COUNTY OF UTAH }

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, IN THE YEAR 20\_\_\_\_, BEFORE ME, \_\_\_\_\_, PERSONALLY APPEARED \_\_\_\_\_ AND PROVED ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAMES ARE SUBSCRIBED TO IN THIS DOCUMENT, AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME.

SIGNATURE \_\_\_\_\_ PRINTED NAME, A NOTARY PUBLIC COMMISSIONED IN UTAH \_\_\_\_\_

COMMISSION NUMBER \_\_\_\_\_ EXPIRATION DATE \_\_\_\_\_

**KAYSAN COVE  
A RESIDENTIAL SUBDIVISION**

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN  
HERRIMAN CITY, SALT LAKE COUNTY, UTAH

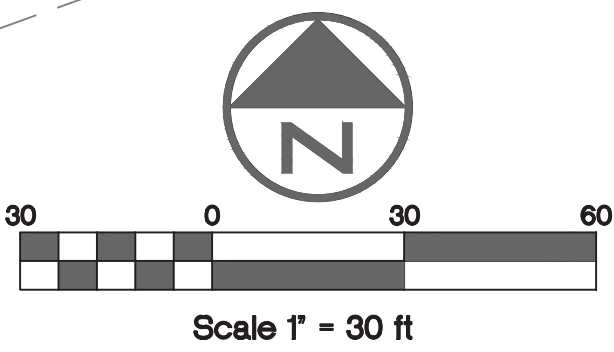
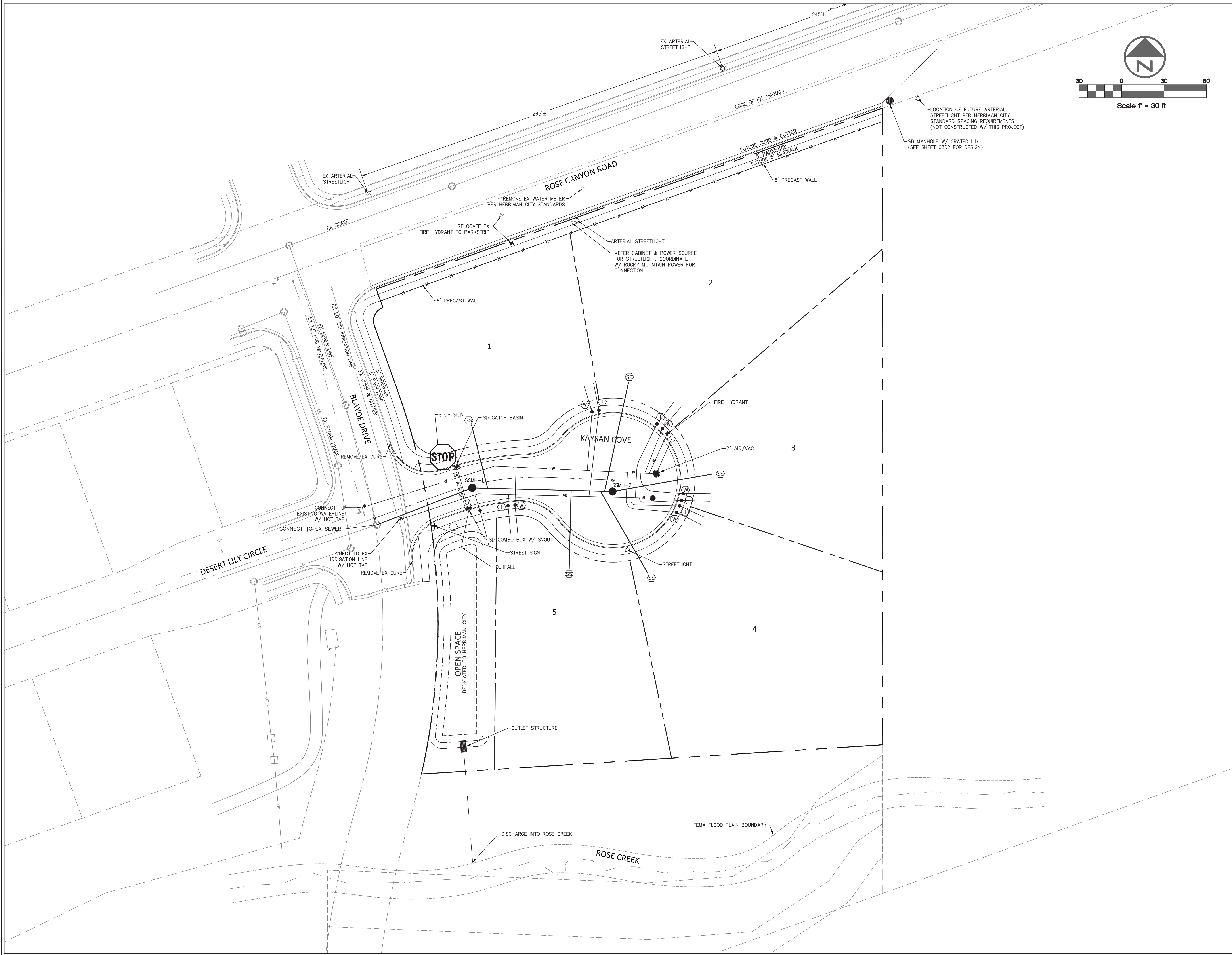
**RECORD #**

STATE OF UTAH COUNTY OF SALT LAKE RECORDED AND FILED AT THE REQUEST OF

DATE \_\_\_\_\_ TIME \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

FEE \$ \_\_\_\_\_ DEPUTY, SALT LAKE COUNTY RECORDER \_\_\_\_\_







# WILDING

ENGINEERING

14721 SOUTH HERITAGE CREST WAY  
BLUFFDALE, UTAH 84065  
801.553.8112  
WWW.WILDINGENGINEERING.COM

- DRAWING NOTES:
- STREETLIGHTS ARE TO BE PLACED AS SHOWN, POWER SOURCES, WIRING, AND UTILITY BOXES ARE TO BE COORDINATED WITH ROCKY MOUNTAIN POWER.
  - DRY UTILITIES ARE TO BE COORDINATED WITH THEIR RESPECTIVE SERVICE PROVIDER.
  - STREET LIGHTS, STREET SIGNS, AND STOP SIGNS SHALL FOLLOW HERRIMAN CITY STANDARDS.

### LEGEND

	EXISTING WATERLINE
	EXISTING FIRE HYDRANT
	PROPOSED WATERLINE
	PROPOSED SECONDARY WATER LINE
	1" IRRIGATION SERVICE
	3/4" WATER SERVICE
	PROPOSED FIRE HYDRANT
	EXISTING SEWER
	PROPOSED SEWER
	4" SEWER LATERAL


5	HERRIMAN CITY COMMENT	2/16/23
4	ADDED LOT 5	1/16/23
3	HERRIMAN CITY COMMENT	12/20/22
2	LOT LINE ADJUSTMENTS	12/14/22
1	HERRIMAN CITY COMMENT	11/22/22
NO.	REVISION	DATE

PROJECT INFORMATION

## KAYSAN COVE

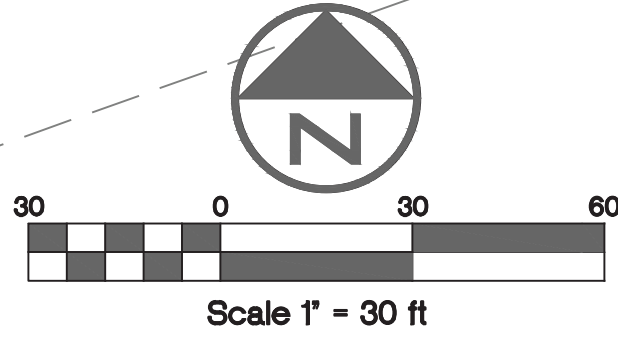
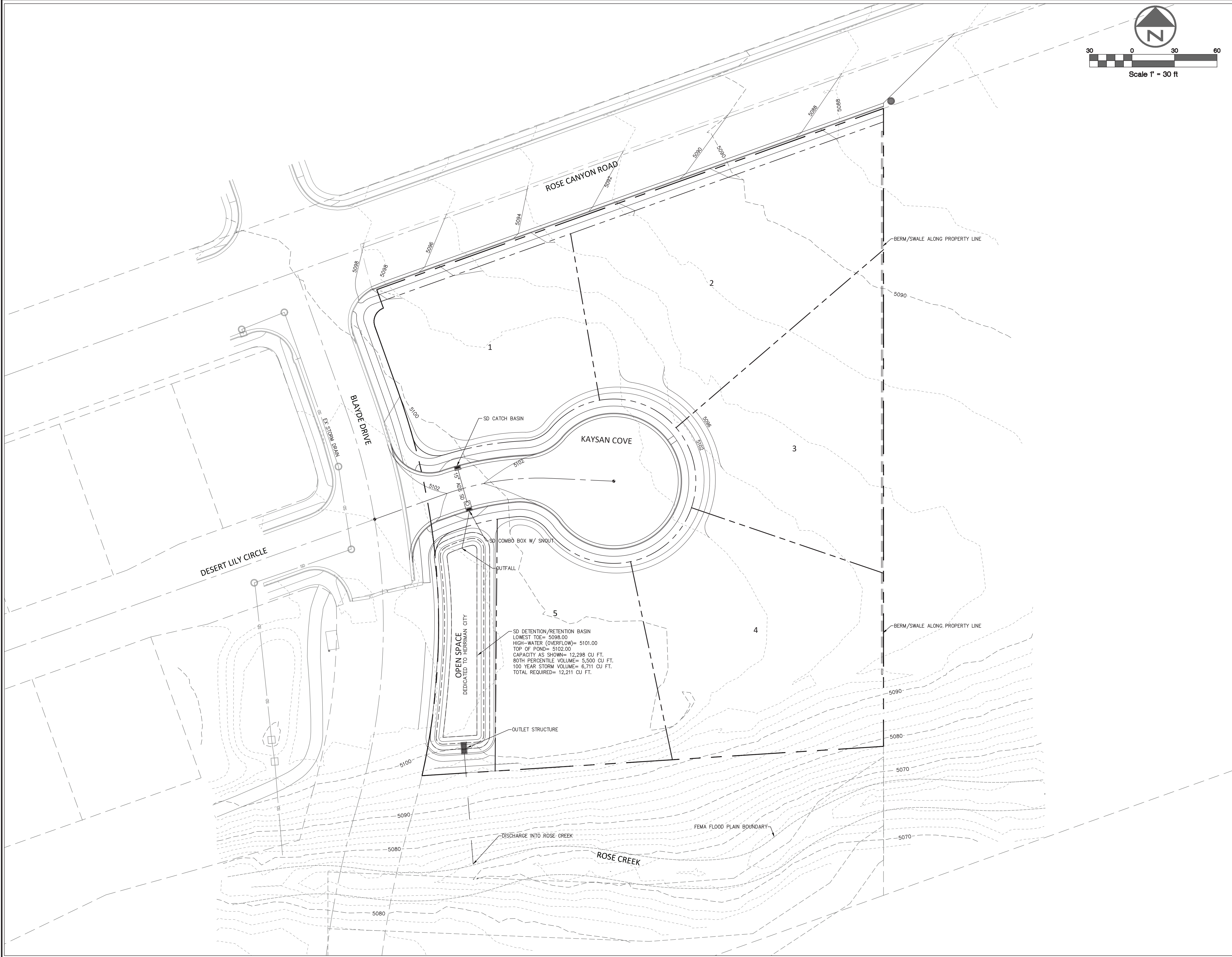
### MASTER UTILITY PLAN

HERRIMAN CITY, UTAH

DRAWN <b>TMC</b>	CHECKED <b>MEC</b>	PROJECT # <b>22207</b>	
			
			DATE <b>10/19/22</b>
			SCALE <b>1" = 30'</b>
		SHEET <b>C201</b>	

G:\DATA\22207 Kaysan Cove\dwg\22207 Kaysan Cove C101 Overall Sheets.dwg  
PLOT DATE: Feb 21, 2023





# WILDING

ENGINEERING

14721 SOUTH HERITAGE DRESS WAY  
BLUFFDALE, UTAH 84065  
801.553.8112  
WWW.WILDINGENGINEERING.COM

DRAWING NOTES:

1. THE BENCHMARK FOR THIS PROJECT IS THE SOUTH QUARTER CORNER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 2 WEST, SALT LAKE BASE & MERIDIAN, A BRASS CAP MONUMENT HAVING AN ELEVATION OF 5145.24.

LEGEND		
	EXISTING INDEX CONTOUR (10')	
	EXISTING CONTOUR (2')	
	PROPOSED INDEX CONTOUR (10')	
	PROPOSED CONTOUR (2')	
	EXISTING STORM DRAIN	
	PROPOSED STORM DRAIN	

NO.	REVISION	DATE
5	HERRIMAN CITY COMMENT	2/16/23
4	ADDED LOT 5	1/16/23
3	HERRIMAN CITY COMMENT	12/20/22
2	LOT LINE ADJUSTMENTS	12/14/22
1	HERRIMAN CITY COMMENT	11/22/22

PROJECT INFORMATION

KAYSAN COVE

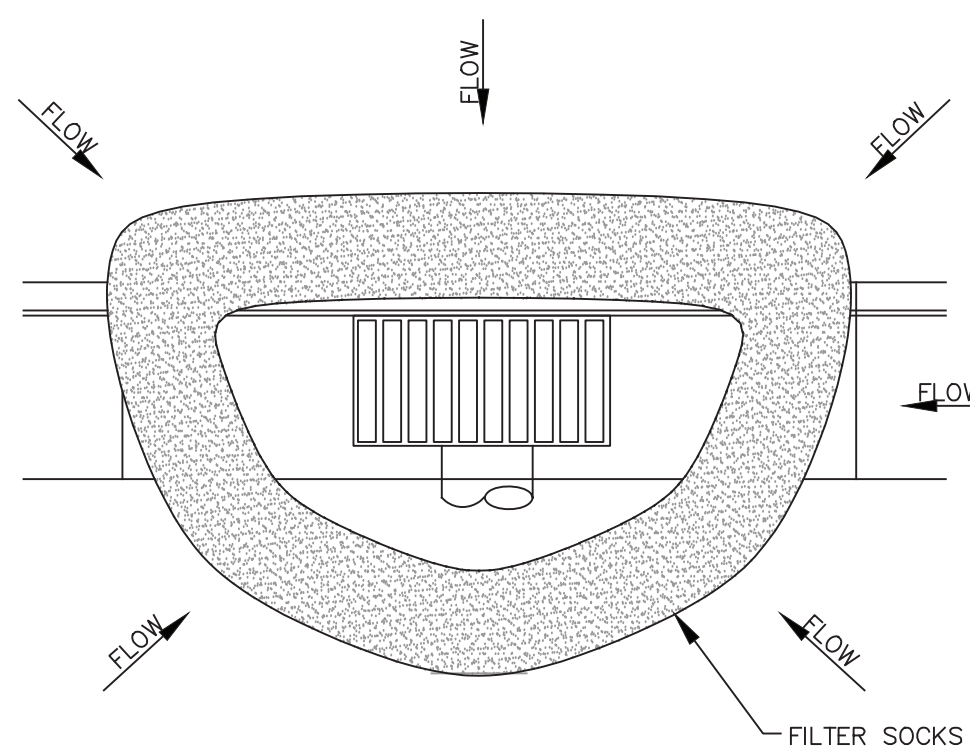
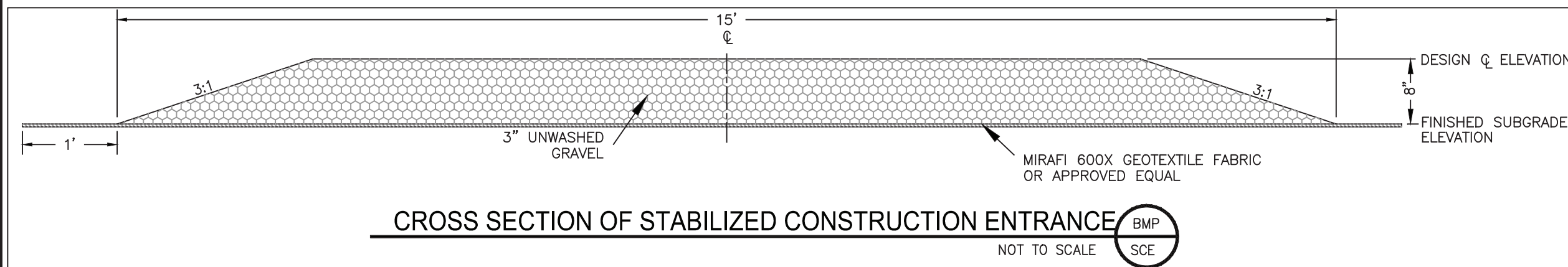
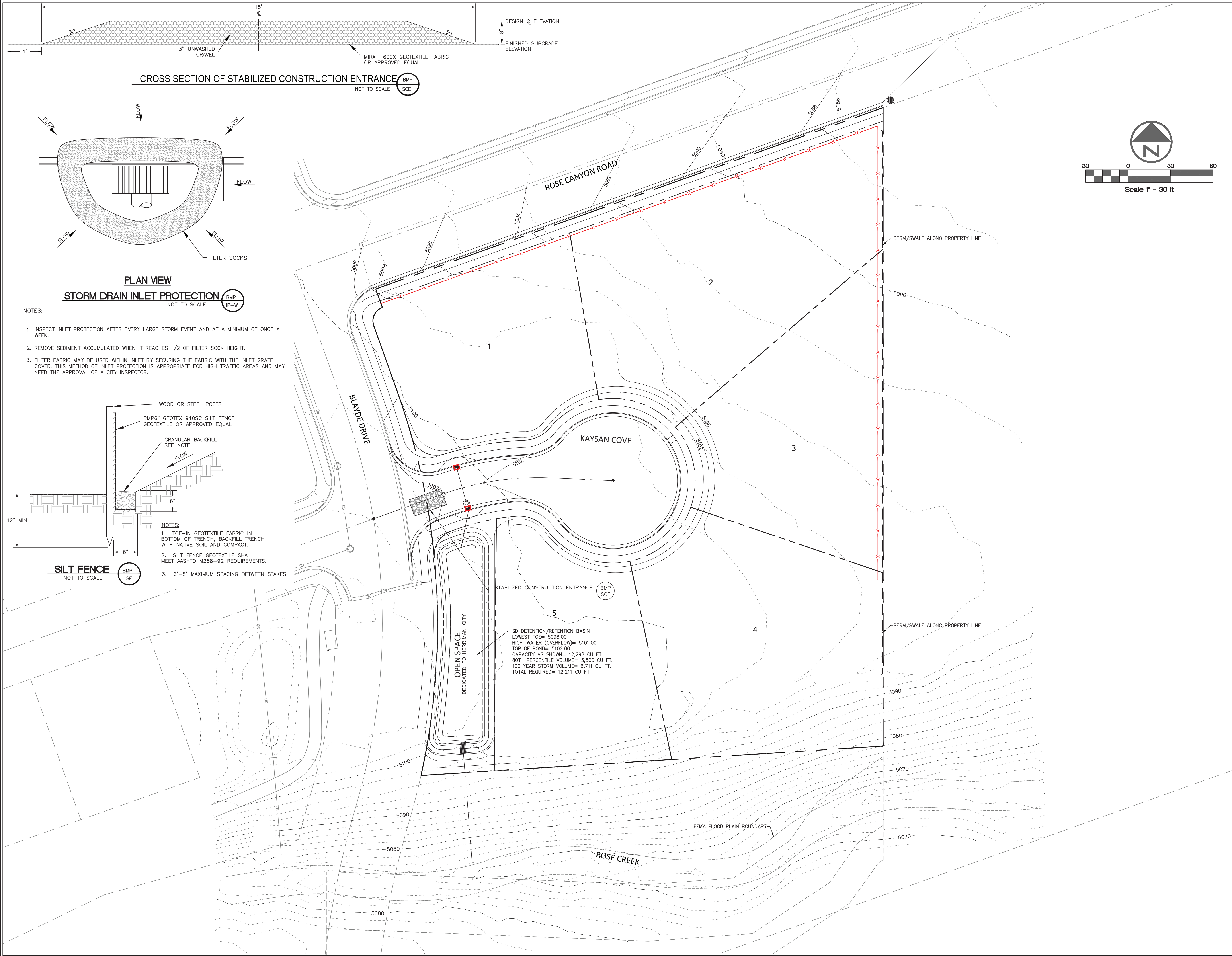
GRADING AND DRAINAGE PLAN

HERRIMAN CITY, UTAH

DRAWN TMC	CHECKED MEC	PROJECT # 22207
		DATE 10/19/22
		SCALE 1" = 30'
		SHEET C202

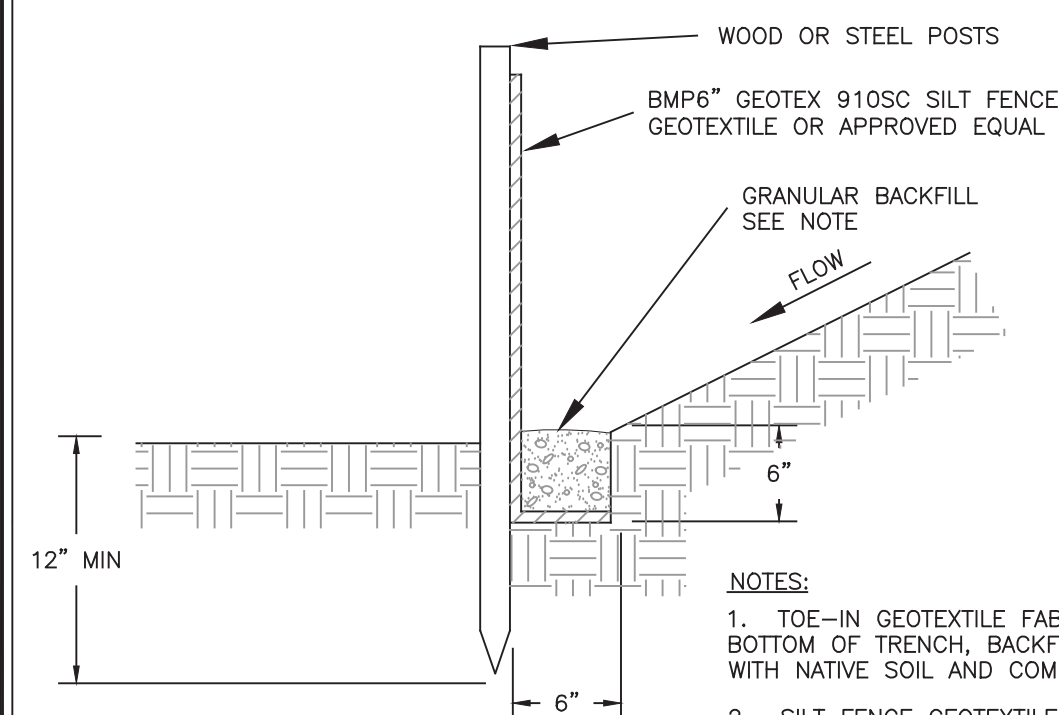
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PLOT DATE: Feb 21, 2023





PLAN VIEW  
STORM DRAIN INLET PROTECTION

- NOTES:
1. INSPECT INLET PROTECTION AFTER EVERY LARGE STORM EVENT AND AT A MINIMUM OF ONCE A WEEK.
  2. REMOVE SEDIMENT ACCUMULATED WHEN IT REACHES 1/2 OF FILTER SOCK HEIGHT.
  3. FILTER FABRIC MAY BE USED WITHIN INLET BY SECURING THE FABRIC WITH THE INLET GRATE COVER. THIS METHOD OF INLET PROTECTION IS APPROPRIATE FOR HIGH TRAFFIC AREAS AND MAY NEED THE APPROVAL OF A CITY INSPECTOR.



SILT FENCE

- NOTES:
1. TOE-IN GEOTEXTILE FABRIC IN BOTTOM OF TRENCH, BACKFILL TRENCH WITH NATIVE SOIL AND COMPACT.
  2. SILT FENCE GEOTEXTILE SHALL MEET AASHTO M288-92 REQUIREMENTS.
  3. 6'-8' MAXIMUM SPACING BETWEEN STAKES.

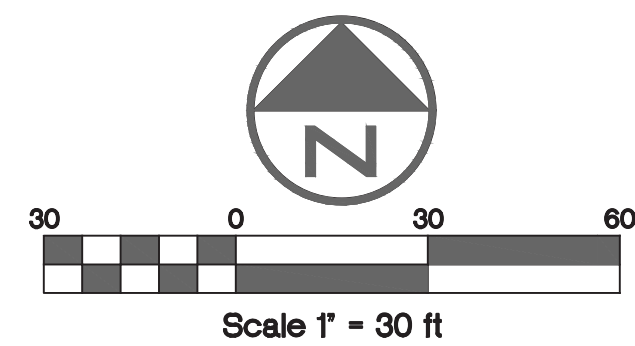
SD DETENTION/RETENTION BASIN  
LOWEST TOE= 5098.00  
HIGH-WATER (OVERFLOW)= 5101.00  
TOP OF POND= 5102.00  
CAPACITY AS SHOWN= 12,298 CU FT.  
80TH PERCENTILE VOLUME= 5,500 CU FT.  
100 YEAR STORM VOLUME= 6,711 CU FT.  
TOTAL REQUIRED= 12,211 CU FT.

# WILDING

ENGINEERING

14721 SOUTH HERITAGE DRESS WAY  
BLUFFDALE, UTAH 84065  
801.553.8112  
WWW.WILDINGENGINEERING.COM

DRAWING NOTES:  
1.



LEGEND		
	EXISTING INDEX CONTOUR (10')	
	EXISTING CONTOUR (2')	
	PROPOSED INDEX CONTOUR (10')	
	PROPOSED CONTOUR (2')	
	EXISTING STORM DRAIN	
	PROPOSED STORM DRAIN	
	SILT FENCE	
	INLET PROTECTION	

NO.	REVISION	DATE
5	HERRIMAN CITY COMMENT	2/16/23
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1	HERRIMAN CITY COMMENT	11/22/22

PROJECT INFORMATION

KAYSAN COVE

EROSION CONTROL PLAN

HERRIMAN CITY, UTAH

DRAWN  
TMC

CHECKED  
MEC

PROJECT #  
22207

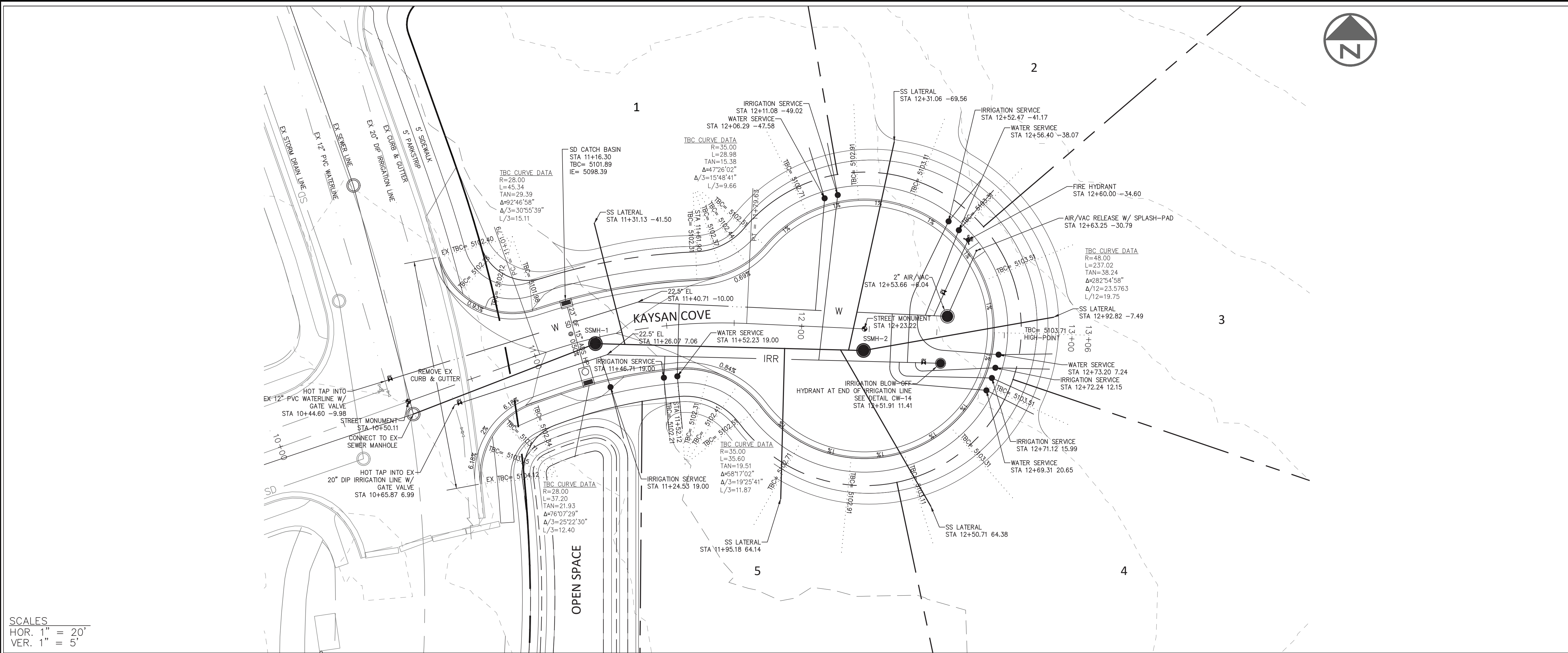
DATE  
10/19/22

SCALE  
1" = 30'

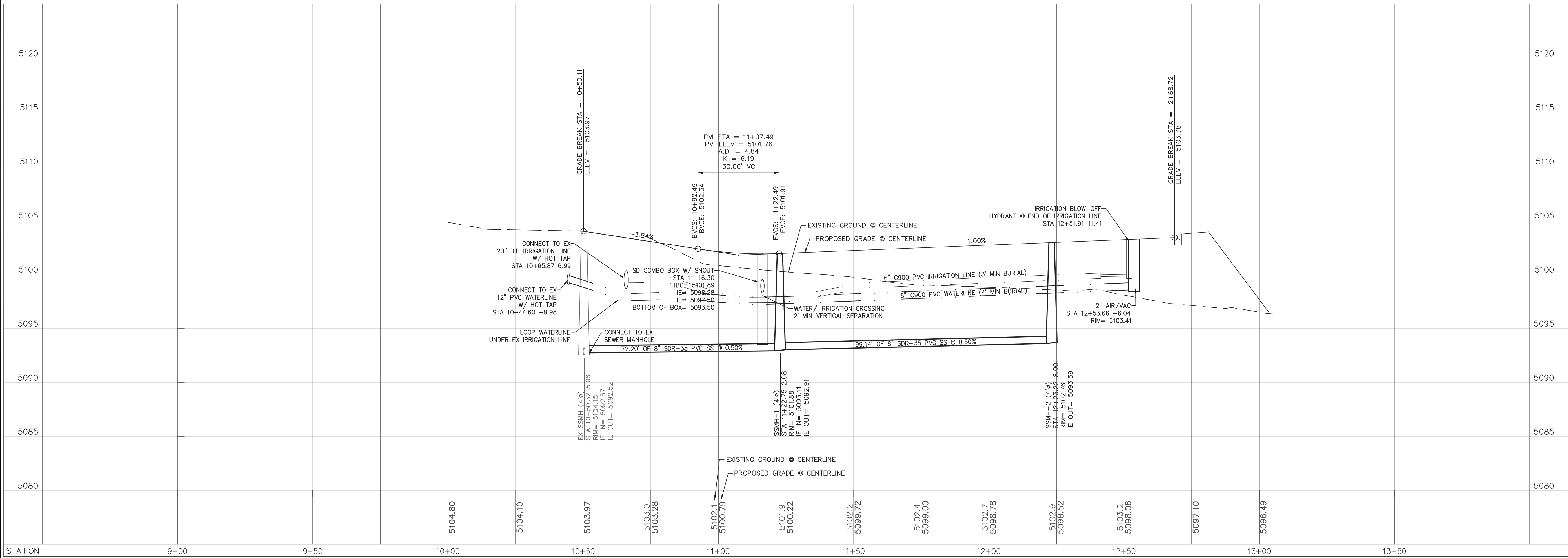
SHEET  
C203

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PLOT DATE: Feb 21, 2023





SCALES  
HOR. 1" = 20'  
VER. 1" = 5'



# WILDING

ENGINEERING

14721 SOUTH HERITAGE CREST WAY  
BLUFFDALE, UTAH 84065  
801.553.8112  
WWW.WILDINGENGINEERING.COM

- DRAWING NOTES:
- ALL CULINARY WATER SERVICES ARE TO BE INSTALLED PER HERRIMAN CITY DETAIL CW-01 & CW-01A (SEE SHEET C401).
  - ALL SECONDARY WATER SERVICES ARE TO BE INSTALLED PER HERRIMAN CITY DETAIL SW-01 (SEE SHEET C402).

KEYMAP		
5	HERRIMAN CITY COMMENT	2/16/23
4	ADDED LOT 5	1/16/23
3	HERRIMAN CITY COMMENT	12/20/22
2	LOT LINE ADJUSTMENTS	12/14/22
1	HERRIMAN CITY COMMENT	11/22/22
NO.	REVISION	DATE

PROJECT INFORMATION

## KAYSAN COVE

KAYSAN COVE

HERRIMAN, UTAH

DRAWN <b>TMC</b>	CHECKED <b>MEC</b>	PROJECT # <b>22207</b>
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DATE  
**10/19/22**

HORIZONTAL SCALE  
**1" = 20'**

VERTICAL SCALE  
**1" = 5'**

SHEET  
**C301**

ENGINEER'S STAMP

G:\DATA\22207 Kaysan Cove\dwg\22207 Kaysan Cove C301 PP.dwg  
PLOT DATE: Feb 21, 2023





DRAWING NOTES:

1. THESE DRAWINGS FULFILL REQUIREMENTS TO IMPROVE ROSE CANYON ROAD ALONG THE PROJECT BOUNDARY, HOWEVER, THE OWNER MAY ELECT TO SUBMIT A DEVIATION FROM STANDARD PLANS AND PAY IN LIEU OF CONSTRUCTING THESE IMPROVEMENTS.
2. SEE SHEET C101 FOR ROAD CROSS-SECTION DETAIL.



5	HERRIMAN CITY COMMENT	2/16/23
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1	HERRIMAN CITY COMMENT	11/22/22
NO.	REVISION	DATE

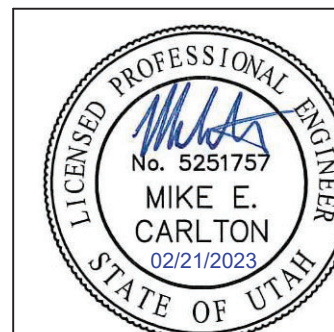
PROJECT INFORMATION

## KAYSAN COVE

ROSE CANYON ROAD

HERRIMAN, UTAH

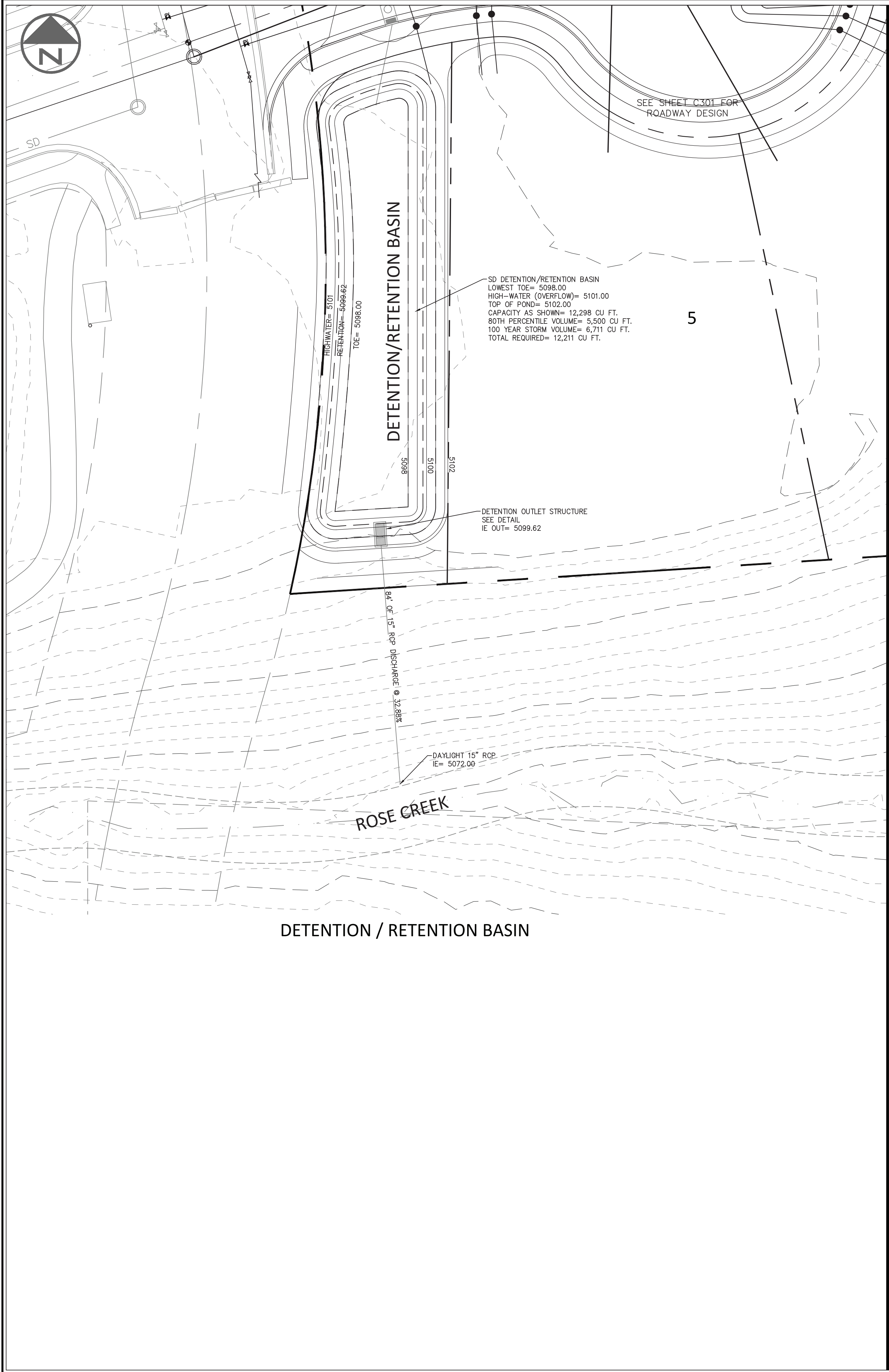
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ENGINEER'S STAMP

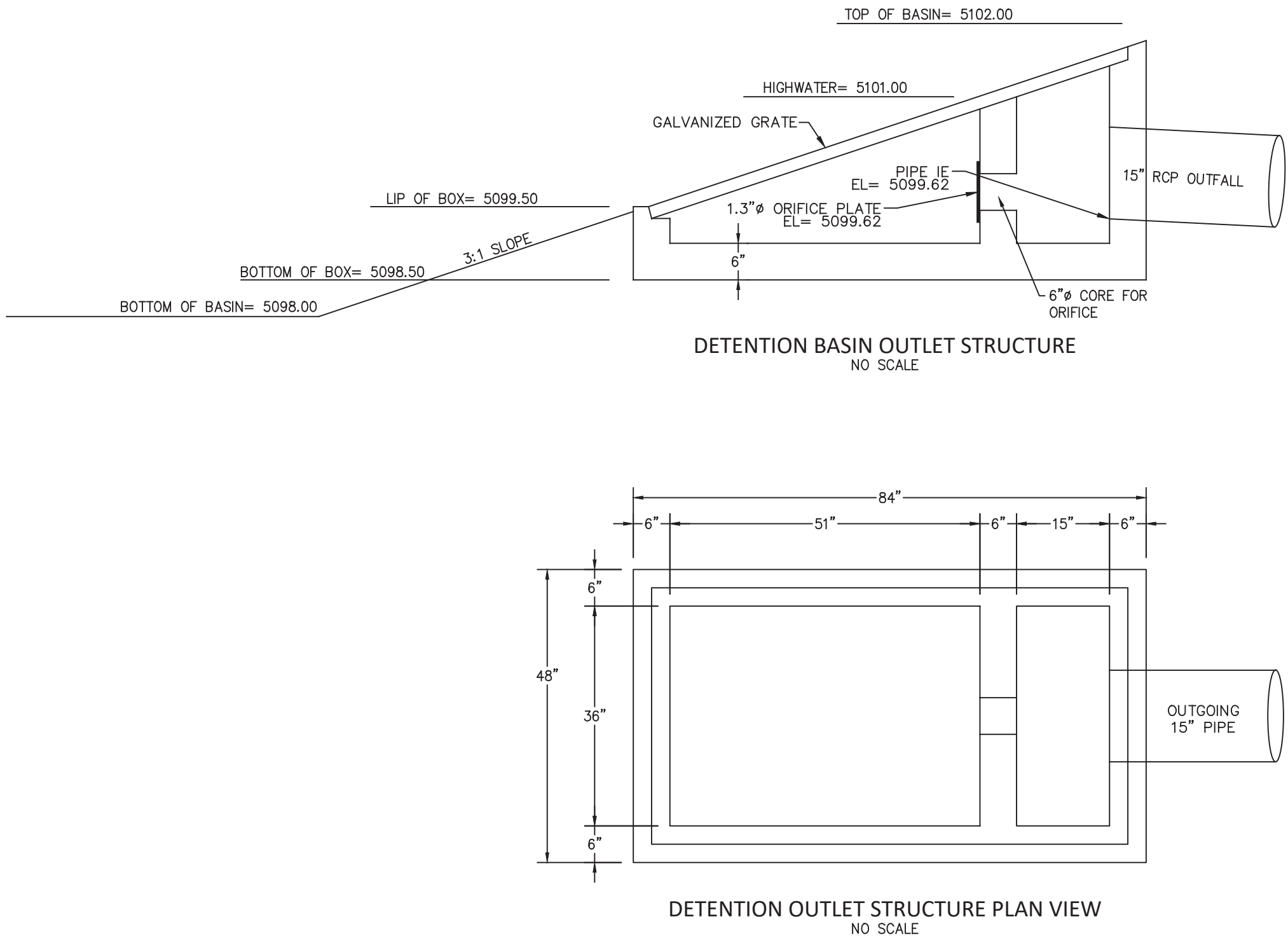
DATE	10/19/22
HORIZONTAL SCALE	1" = 20'
VERTICAL SCALE	NONE
SHEET	C302





STAGE STORAGE TABLE				
ELEV	AREA (sq. ft.)	DEPTH (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)
5,098.000	2,626.08	N/A	N/A	0.00
5,098.100	2,718.89	0.100	267.25	267.25
5,098.200	2,812.27	0.100	276.56	543.81
5,098.300	2,906.21	0.100	285.92	829.73
5,098.400	3,000.71	0.100	295.35	1125.08
5,098.500	3,095.78	0.100	304.82	1429.90
5,098.600	3,191.42	0.100	314.36	1744.26
5,098.700	3,287.62	0.100	323.95	2068.21
5,098.800	3,384.39	0.100	333.60	2401.81
5,098.900	3,481.72	0.100	343.31	2745.12
5,099.000	3,579.62	0.100	353.07	3098.19
5,099.100	3,678.09	0.100	362.89	3461.07
5,099.200	3,777.12	0.100	372.76	3833.83
5,099.300	3,876.71	0.100	382.69	4216.52
5,099.400	3,976.87	0.100	392.68	4609.20
5,099.500	4,077.60	0.100	402.72	5011.93
5,099.600	4,178.89	0.100	412.82	5424.75
5,099.700	4,280.75	0.100	422.98	5847.73
5,099.800	4,383.17	0.100	433.20	6280.93
5,099.900	4,486.16	0.100	443.47	6724.39
5,100.000	4,589.71	0.100	453.79	7178.19
5,100.100	4,693.83	0.100	464.18	7642.37
5,100.200	4,798.52	0.100	474.62	8116.98
5,100.300	4,903.77	0.100	485.11	8602.10
5,100.400	5,009.58	0.100	495.67	9097.76
5,100.500	5,115.96	0.100	506.28	9604.04
5,100.600	5,222.91	0.100	516.94	10120.98
5,100.700	5,330.42	0.100	527.67	10648.65
5,100.800	5,438.50	0.100	538.45	11187.10
5,100.900	5,547.14	0.100	549.28	11736.38
5,101.000	5,656.35	0.100	560.17	12296.55

STORAGE CALCULATIONS & OUTLET STRUCTURE DETAIL



# WILDING

ENGINEERING

14721 SOUTH HERITAGE CREST WAY  
BLUFFDALE, UTAH 84065  
801.553.8112  
WWW.WILDINGENGINEERING.COM

DRAWING NOTES:  
1. PONDS ARE TO BE CERTIFIED PRIOR TO ACCEPTANCE.

KEYMAP

NO.	REVISION	DATE
5	HERRIMAN CITY COMMENT	2/16/23
4	ADDED LOT 5	1/16/23
3	HERRIMAN CITY COMMENT	12/20/22
2	LOT LINE ADJUSTMENT	12/14/22
1	HERRIMAN CITY COMMENT	11/22/22

PROJECT INFORMATION

## KAYSAN COVE

### DETENTION/RETENTION BASIN

HERRIMAN CITY, UTAH

DRAWN  
**TMC**

CHECKED  
**MEC**

PROJECT #  
**22207**

ENGINEER'S STAMP

DATE  
**10/19/22**

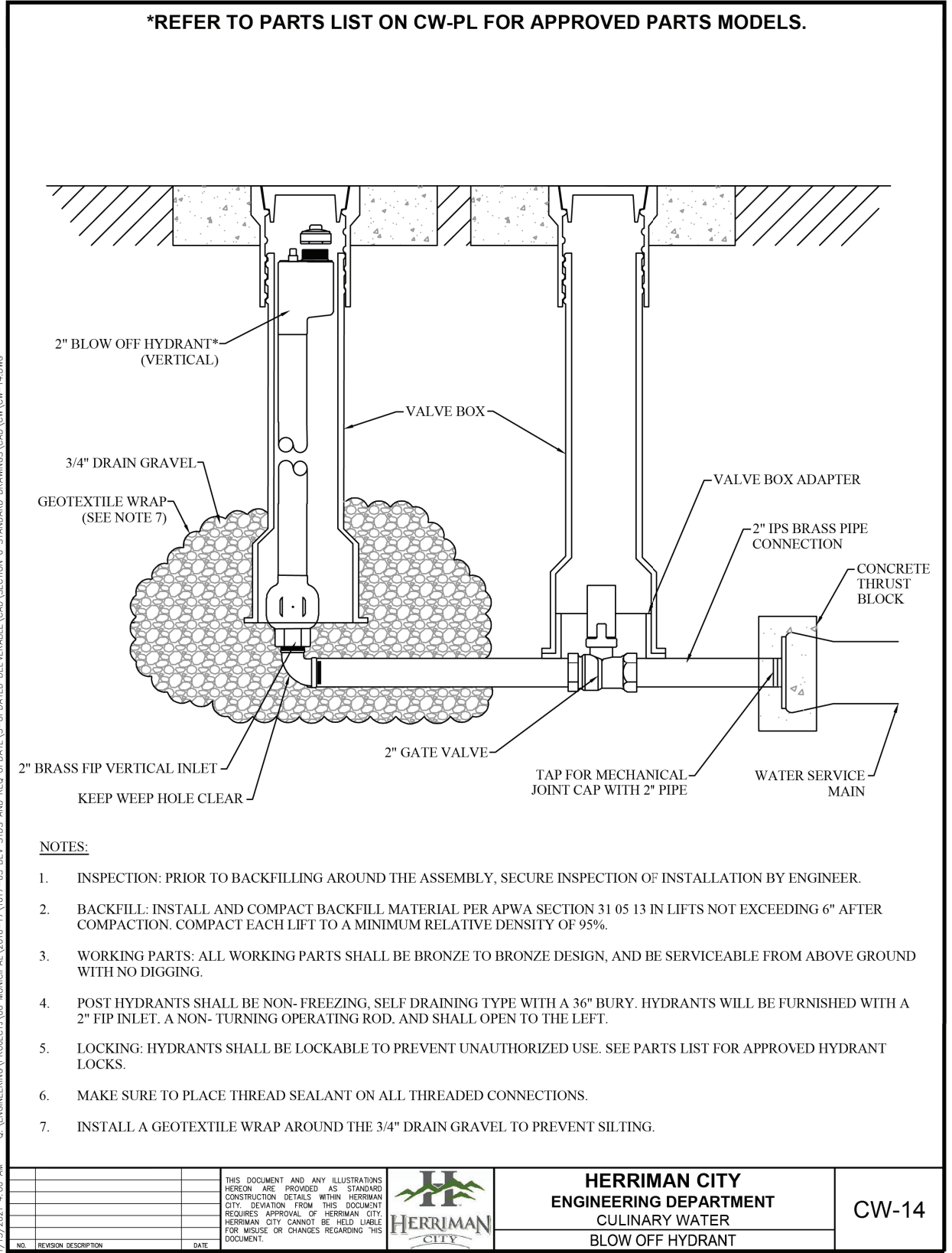
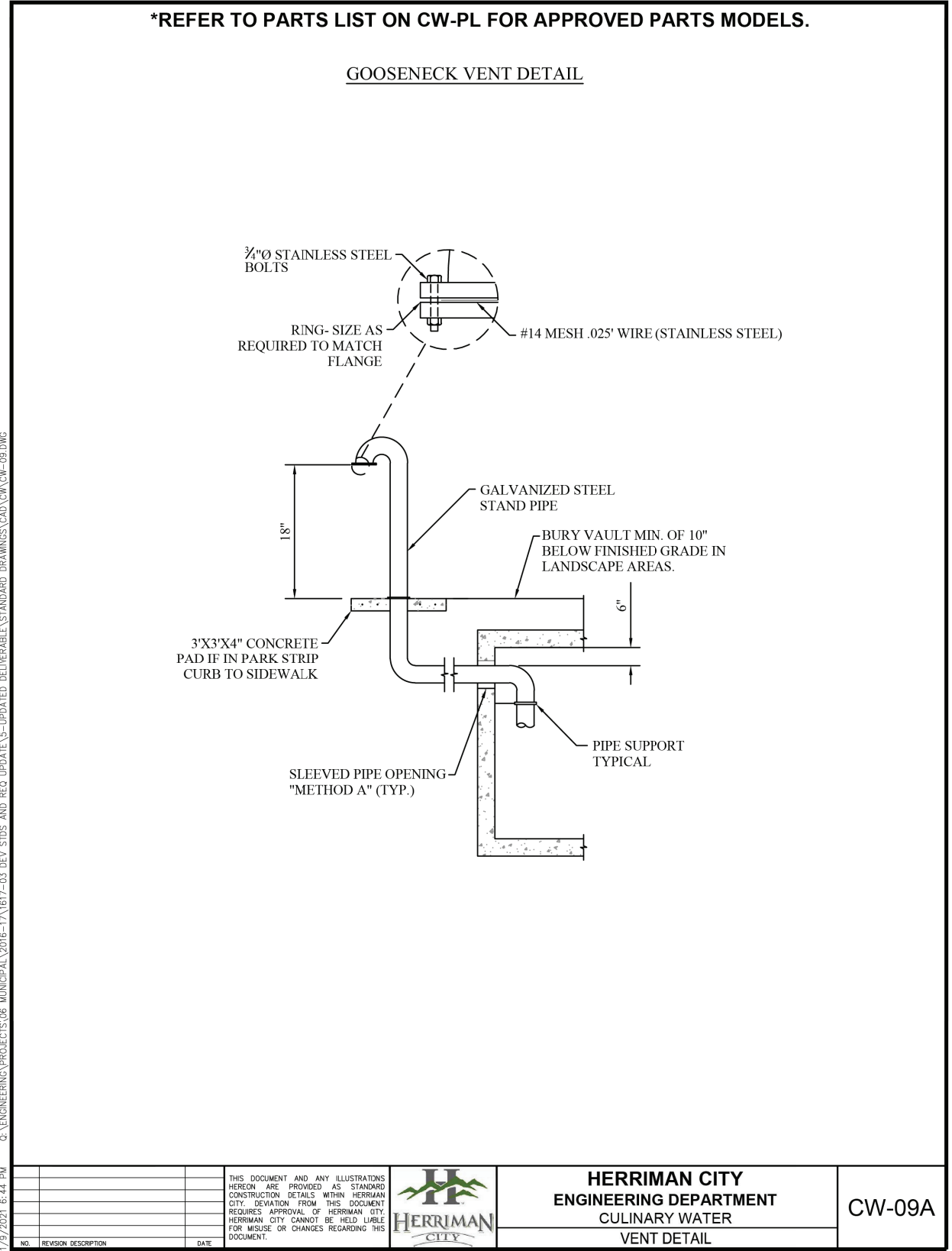
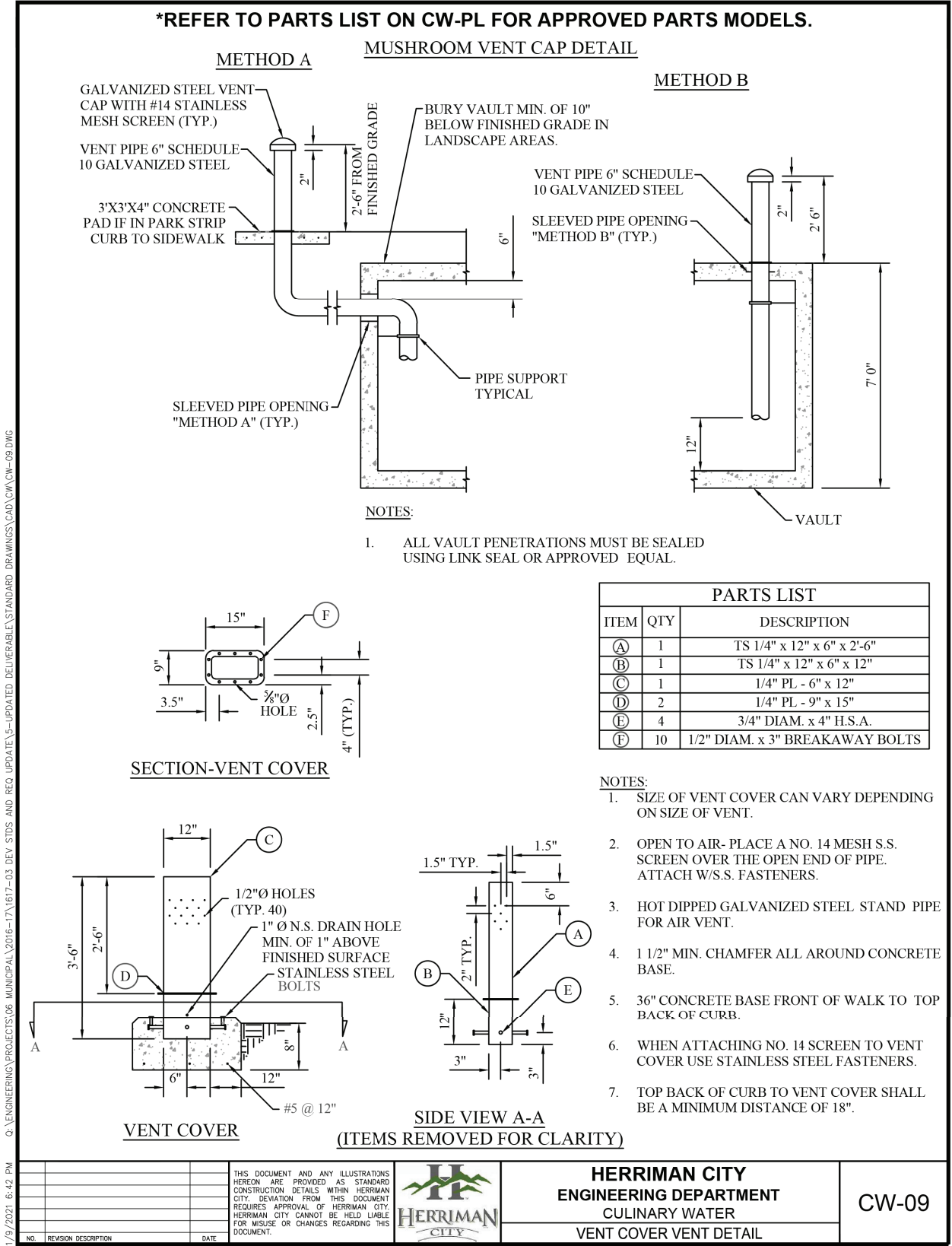
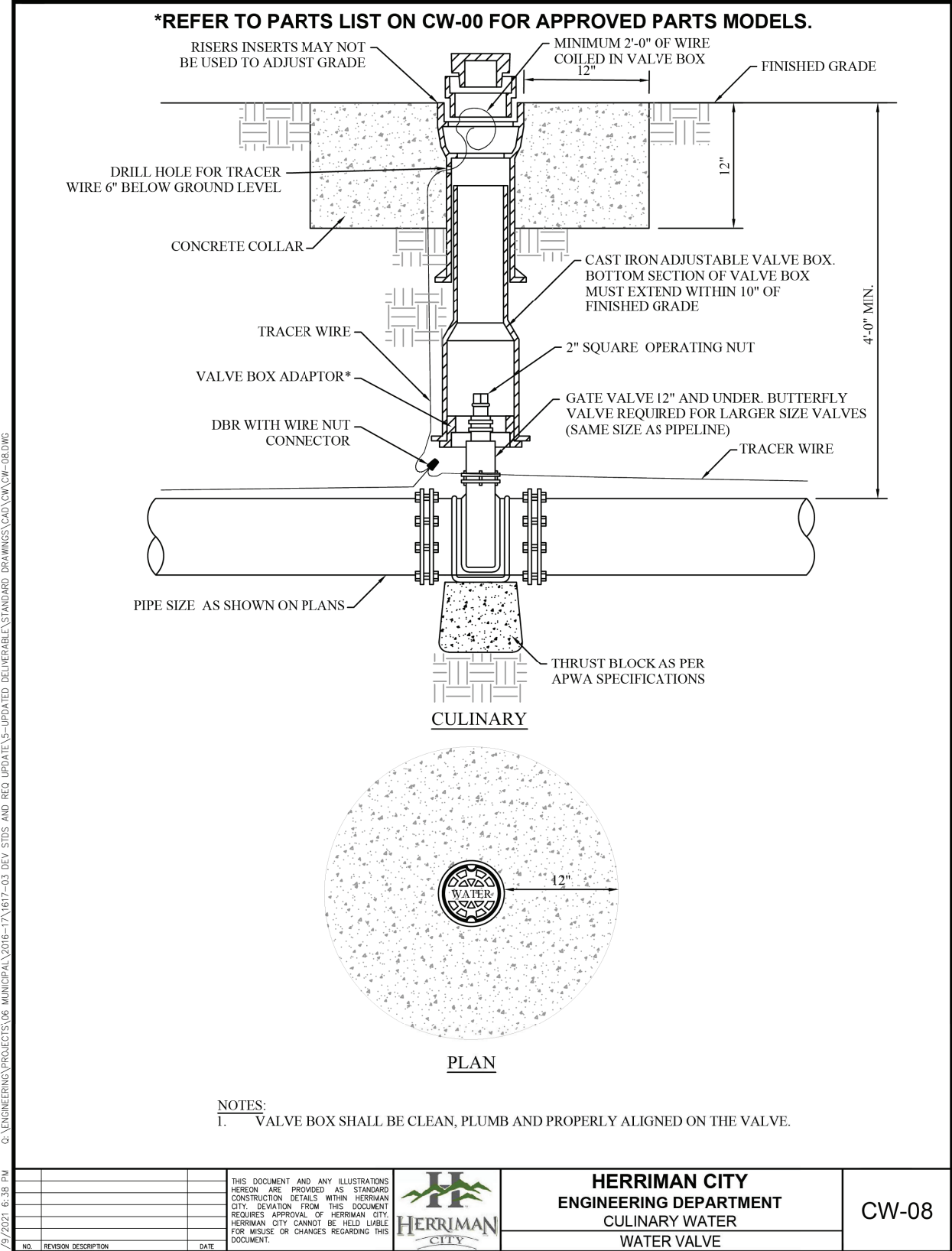
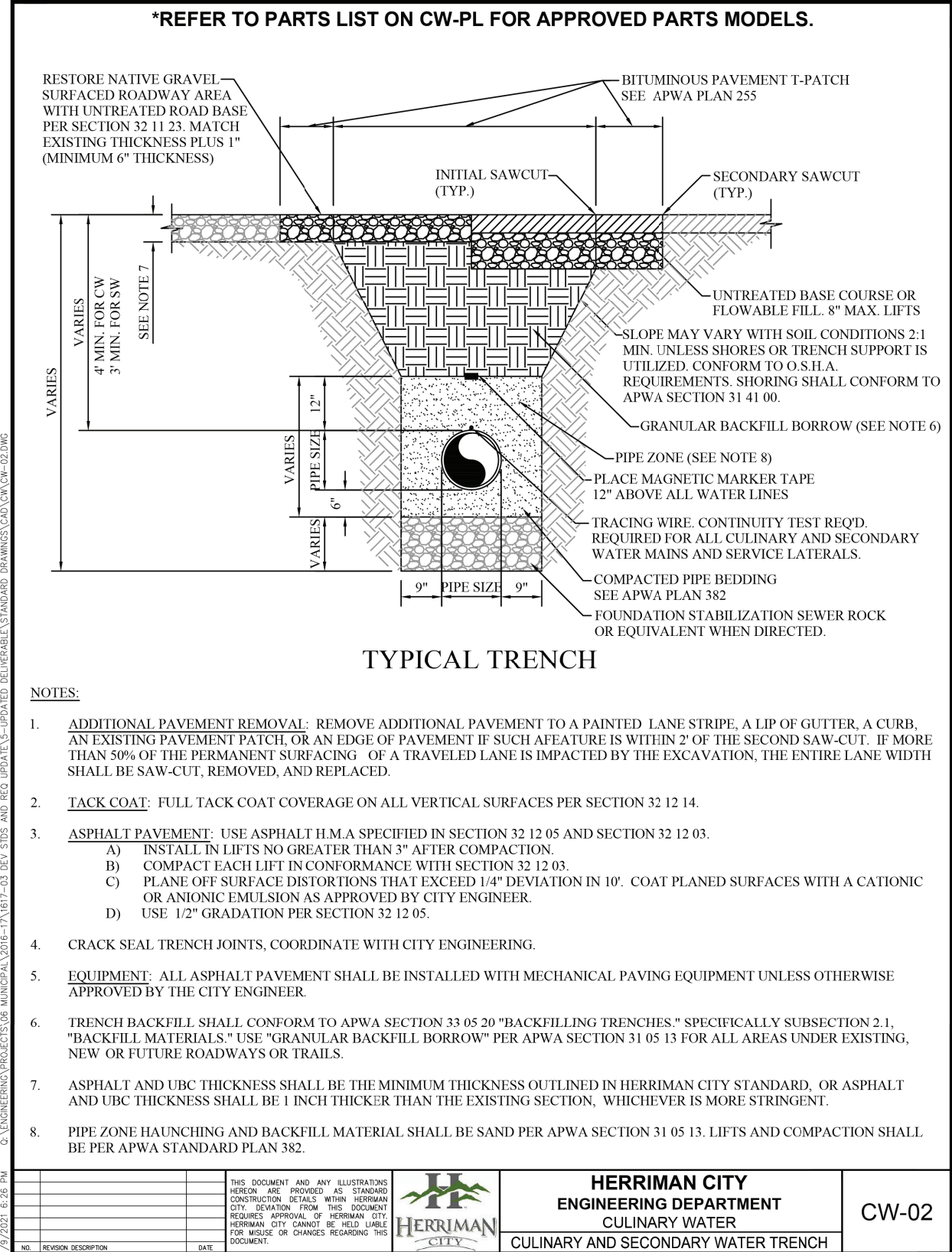
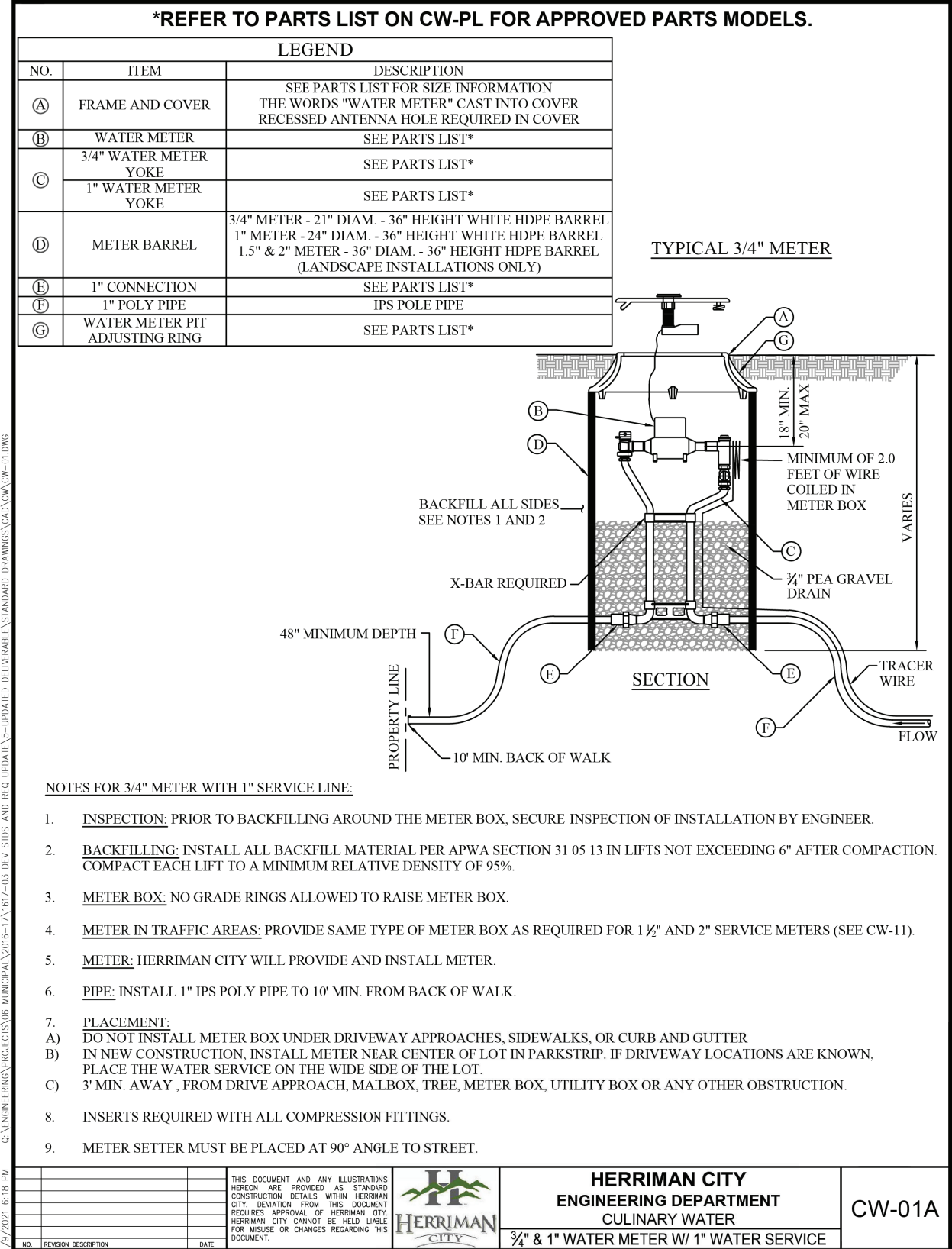
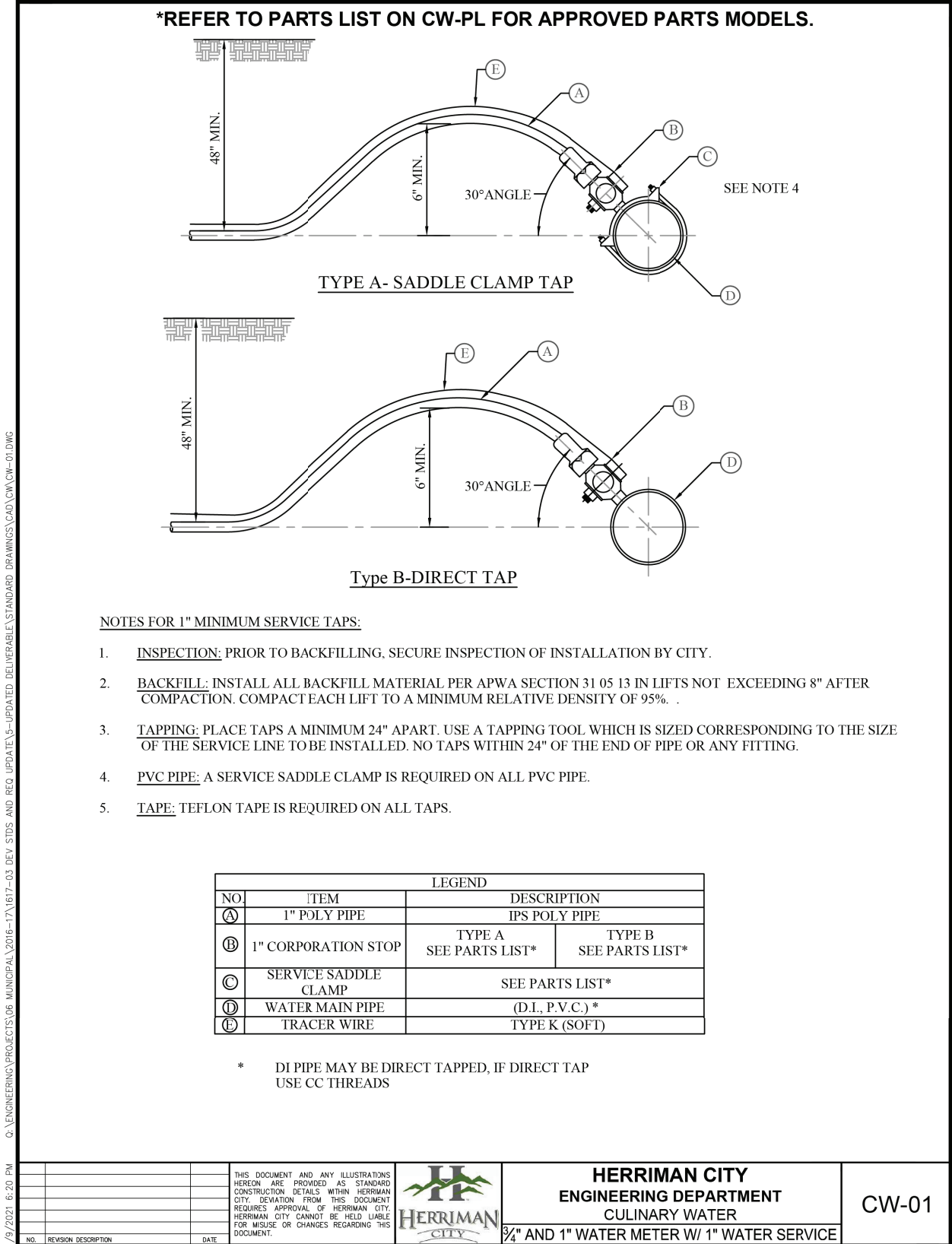
HORIZONTAL SCALE  
**1" = 20'**

VERTICAL SCALE  
**NONE**

SHEET  
**C303**

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PLOT DATE: Feb 21, 2023





DRAWING NOTES:

NO.	REVISION	DATE
5	HERRIMAN CITY COMMENT	2/16/23
4	ADDED LOT 5	1/16/23
3	HERRIMAN CITY COMMENT	12/20/22
2	LOT LINE ADJUSTMENT	12/14/22
1	HERRIMAN CITY COMMENT	11/22/22

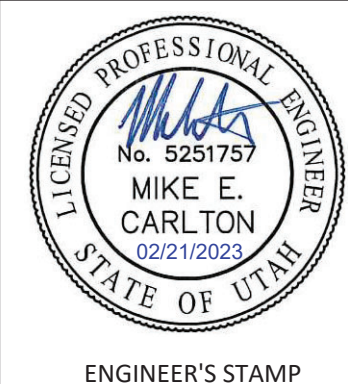
PROJECT INFORMATION

KAYSAN COVE

DETAIL SHEETS

HERRIMAN CITY, UTAH

DRAWN	TMC	CHECKED	MEC	PROJECT #	22207
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DATE  
7/5/22

SCALE  
NONE

SHEET  
C401

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PLOT DATE: Feb 21, 2023



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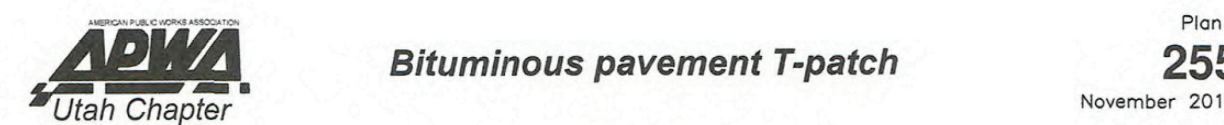
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PROJECT INFORMATION

SHEET  
C402





PROJECT INFORMATION
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## HERRIMAN CITY, UTAH









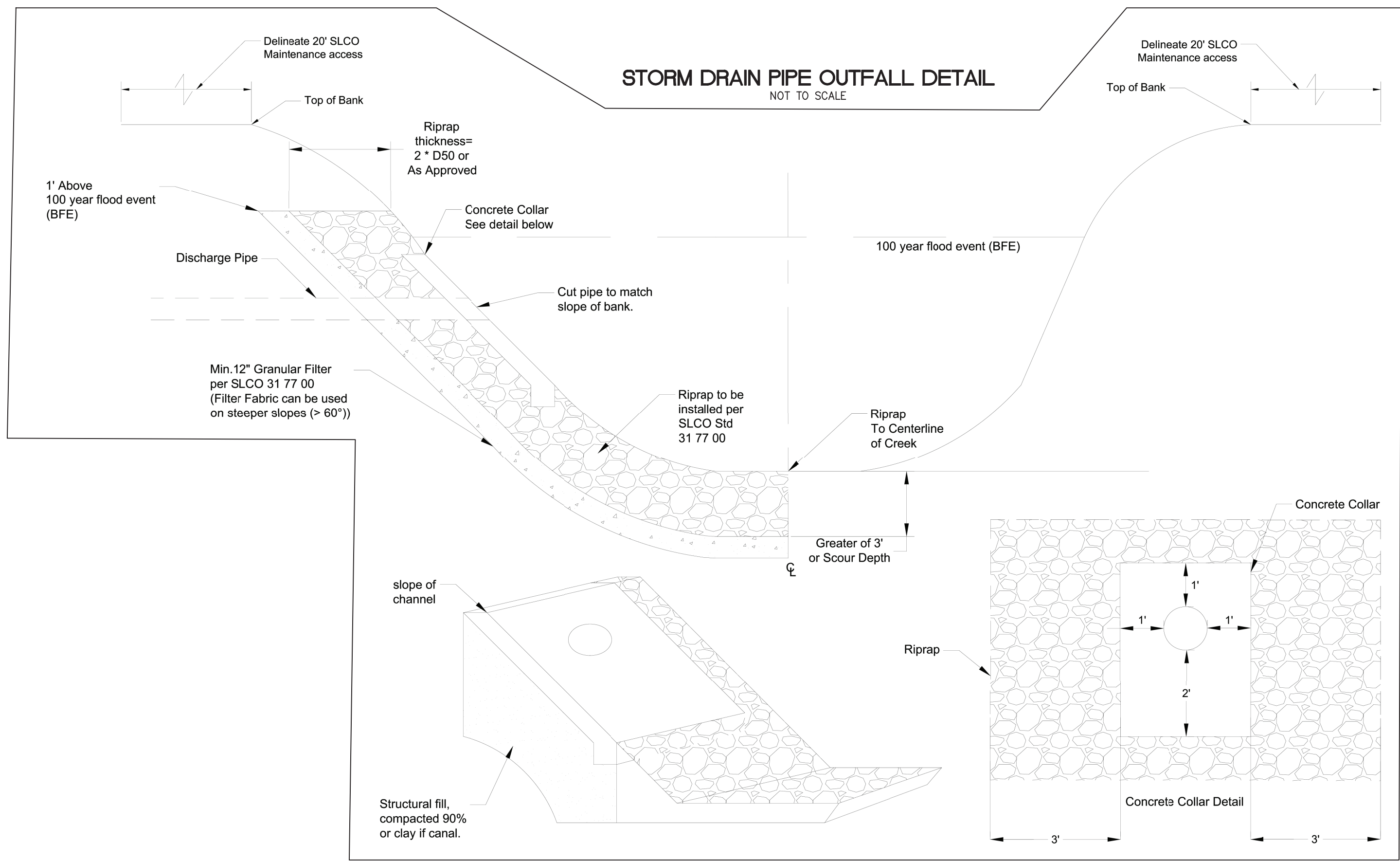
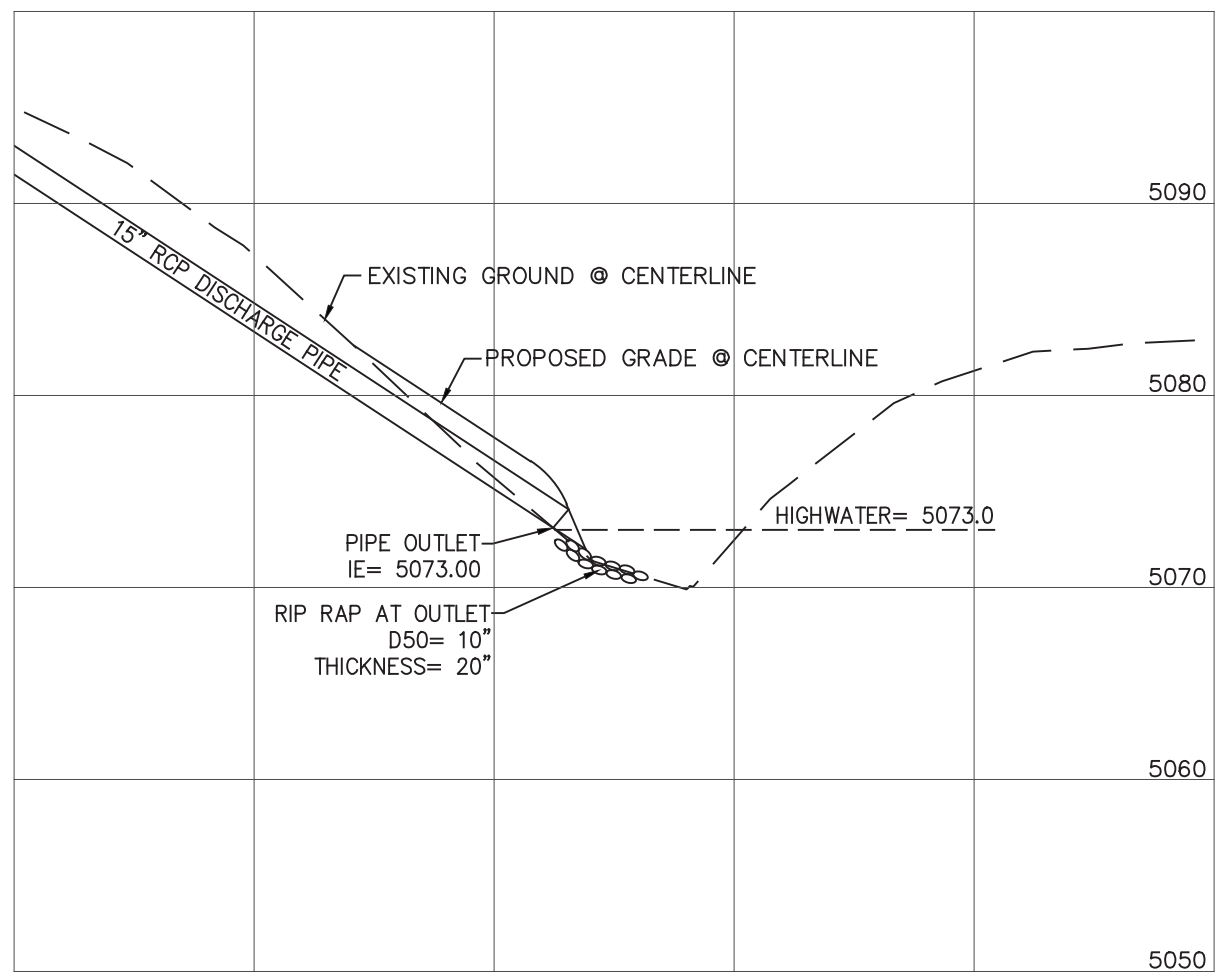
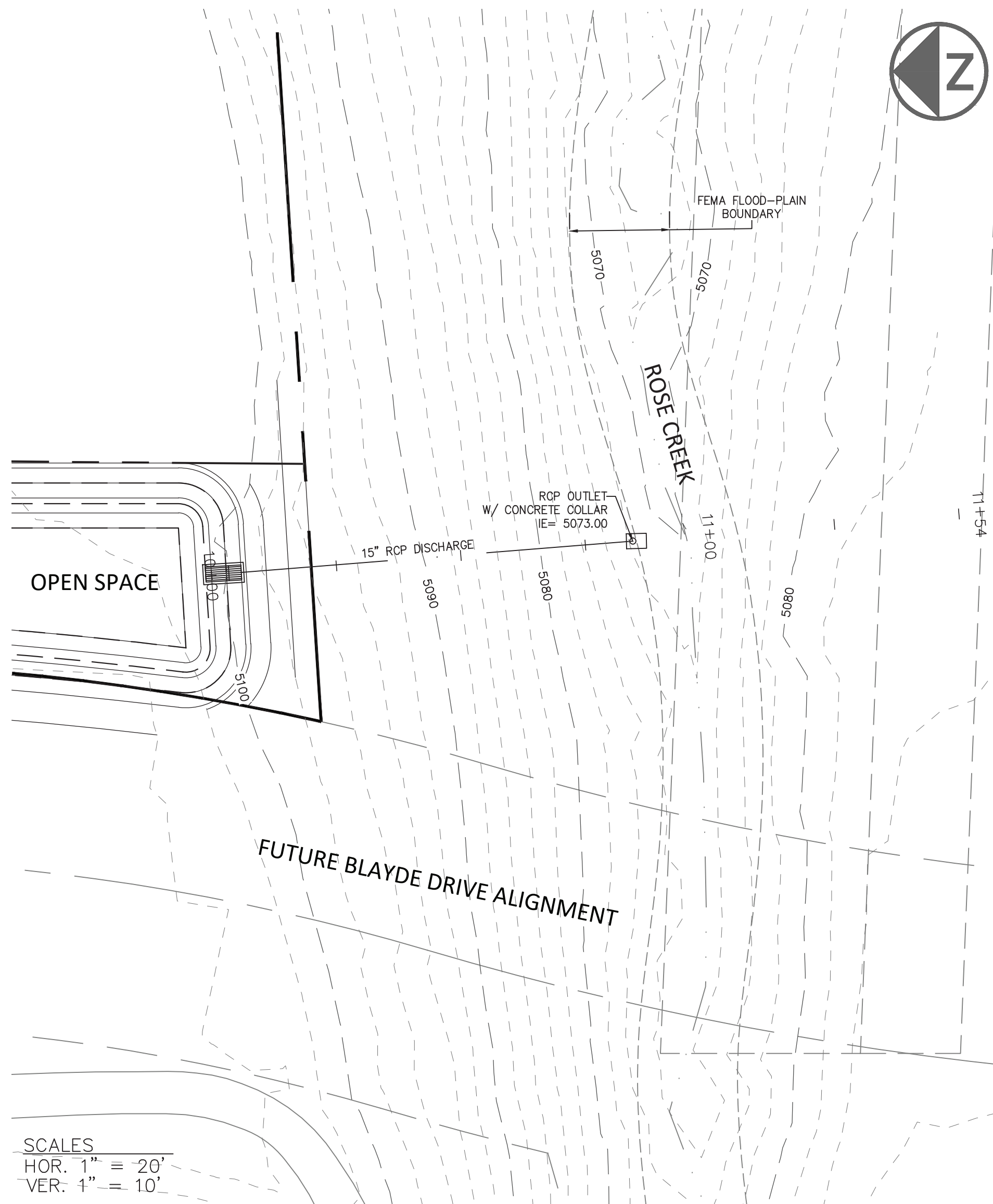






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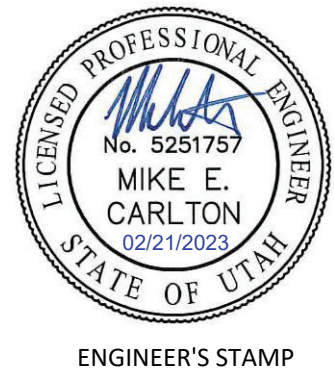
DRAWING NOTES:  
1.

KEYMAP

NO.	REVISION	DATE
5	HERRIMAN CITY COMMENT	2/16/23
3	LOT LINE ADJUSTMENTS	12/14/22
2	UPDATED RIP-RAP SIZING	12/9/22
1	HERRIMAN CITY COMMENT	11/22/22

PROJECT INFORMATION  
**KAYSAN COVE**  
**STREAM ALTERATION PLAN**  
**HERRIMAN, UTAH**

DRAWN <b>TMC</b>	CHECKED <b>MEC</b>	PROJECT # <b>22207</b>
DATE <b>10/19/22</b>		
HORIZONTAL SCALE <b>1" = 20'</b>		
VERTICAL SCALE <b>1" = 10'</b>		
SHEET <b>C404</b>		







SPENCER J. COX  
Governor

DEIDRE M. HENDERSON  
Lieutenant Governor

# State of Utah

## DEPARTMENT OF NATURAL RESOURCES

JOEL FERRY  
Executive Director

### Division of Water Rights

TERESA WILHELMSEN  
State Engineer/Division Director

## ORDER OF THE STATE ENGINEER

FOR STREAM ALTERATION APPLICATION NUMBER **22-59-09SA**  
IN THE NAME OF ADNAN AFRIDI FOR ALTERATION TO ROSE CREEK  
IN SALT LAKE COUNTY, UTAH

Stream Alteration Application No. **22-59-09SA**, submitted in the name of Adnan Afridi, applicant, in order to install a new storm water outfall structure associated with Rose Creek, a natural stream located in Salt Lake County, Utah, is hereby **APPROVED**, contingent upon the conditions outlined in this **ORDER**. This approval also constitutes compliance with Section 404 (e) of the Clean Water Act (33 USC 1344) pursuant to Programmatic General Permit 10 issued to the State of Utah by the U.S. Army Corps of Engineers on February 22, 2021, and is subject to all conditions therein. Full text of Programmatic General Permit 10 can be found at the following link: [http://www.waterrights.utah.gov/strmalt/whitepapers/20210222\\_PGP10.pdf](http://www.waterrights.utah.gov/strmalt/whitepapers/20210222_PGP10.pdf). The applicant is hereby authorized to conduct the work detailed in the application and supporting documentation, as described in this **ORDER**. Any modification or addition to the work may require additional authorization and/or application resubmittal.

1. The expiration date of this **ORDER** is **January 5, 2025**. Work affecting the bed and/or banks of the stream may not be conducted after this date. Extension of the **ORDER** is subject to review by the Division. A request for extension must be submitted in writing to the Division and include an explanation for project delay.
2. A copy of this **ORDER** must be kept onsite at any time the work authorized under this order is in progress.
3. Best Management Practices should be implemented and maintained during any streamside or instream work to minimize sedimentation, temporary erosion of stream banks, and needless damage or alteration to the streambed.
4. As the project involves construction of storm water detention pond, a small dam application must be submitted and approved prior to construction.
5. Work must be accomplished during a period of low flow. Sediment introduced into stream flows during construction must be controlled to prevent increases in turbidity downstream. If necessary, flows must be diverted away from the construction area through use of a non-erodible cofferdam or other means of bypass.
6. Equipment should work from the top of the bank or from the channel to minimize disturbance to the riparian area and to protect the banks. Heavy equipment should avoid crossing and/or disturbing wetlands.





7. Impacts to the stream channel and surrounding environment must be minimized. Vegetation should not be destroyed, but if some disturbance is necessary, then revegetating with native species will be required, especially in the case of woody shrubs. The channel contours and configuration must not be changed except in the case of bank contouring for stabilization purposes.
8. Fill materials should be free of fines, waste, pollutants, and noxious weeds/seeds.
9. Equipment must be properly cleaned off-site prior to construction. If necessary during and/or after construction, fueling and cleaning of equipment must occur well away from any stream channels.
10. Excavated material and construction debris may not be wasted in any stream channel or placed in flowing waters, this will include material such as grease, oil, joint coating, or any other possible pollutant. Excess materials must be wasted at an upland site well away from any channel. Construction materials, bedding material, excavated material, etc. may not be stockpiled in riparian or channel areas.
11. Within 30 days after the completion of this project, the attached compliance certification form must be completed and returned to the U.S. Army Corps of Engineers. Failure to return this compliance certification form would invalidate U.S. Army Corps of Engineers Programmatic General Permit 10, thereby placing the applicant in violation of Section 404 of the Clean Water Act. Form can be found at:  
<https://www.waterrights.utah.gov/strmalt/ComplianceCertification.pdf>

The statutory process and criteria for evaluation of this application are described at Utah Code Ann. § 73-3-29 and Administrative Rule R655-13. The State Engineer has determined that this application does meet the necessary legal criteria for approval based upon the following Findings of Fact and reasoning set forth in the Discussion.

### **FINDINGS OF FACT**

1. The application was received by the Division of Water Rights ("Division") on November 30, 2022, and made available for comment on the Division's webpage, provided to pertinent governmental agencies, and to other entities as warranted, for a period of 20 calendar days, said period concluding prior to December 20, 2022.
2. The application contains the following information:
  - The stated description of the proposed project is: To install a new storm water outfall structure associated with Rose Creek in Salt Lake County.
  - The stated purpose of the proposed project is: To facilitate new development in the area.

3. The following comments or objections on the proposed project were received from:

- Caleb Williams – U.S. Army Corps of Engineers
- Tracie Harrison – Utah Division of Emergency Management
- Aaron Murphy – Salt Lake County Flood Control

The comments or objections received are summarized as follows:

- The U.S. Army Corps of Engineers has reviewed the application and determined that the proposed project meets the terms and conditions of Programmatic General Permit 10.
- Applicant will need to verify if they will be required to get a floodplain development permit from the local Floodplain Administrator (FPA) in the community they are doing the work in. The applicant needs to make sure they are in compliance with the National Flood Insurance Program (NFIP) and the local floodplain regulations by contacting the communities FPA. Even state and federal agencies need to obtain the local floodplain development permits as per the federal regulations 44CFR 60.3. This may include obtaining a Letter of Map Change (LOMC) from FEMA as well as any other federal or local permits required to develop in Special Flood Hazard Areas (SFHA). The community FPA should know what is required in these areas. If there is a question as to what is needed, individuals can call or e-mail my office (385-499-2077, [tjharrison@utah.gov](mailto:tjharrison@utah.gov)).
- Salt Lake County is aware of this project and the applicant has submitted a flood control permit application. The applicant will need to include supporting documentation with this application before the review process can begin.

4. The applicant was notified of the need for a small dam permit on December 21, 2022.

### **DISCUSSION**

1. Based on a review of the Division's water rights records and/or a review of the application by personnel of the Division's regional office, it is the opinion of the State Engineer that the project will not impair vested water rights.
2. It is the opinion of the State Engineer that the project will not unreasonably or unnecessarily affect recreational use or the natural stream environment.
3. It is the opinion of the State Engineer that the project will not unreasonably or unnecessarily endanger aquatic wildlife.
4. It is the opinion of the State Engineer that the project will not unreasonably or unnecessarily diminish the natural channel's ability to conduct high flows.
5. Other comments or concerns submitted by interested persons or parties are not believed to be within the purview of the State Engineer in evaluating an Application to Alter a Natural Stream.

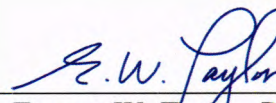
Documents associated with this **ORDER** and the submitted application are included in the stream alteration file and available for viewing on the Division of Water Rights website.

This **ORDER** does not authorize trespass, easements, rights-of-way, or any other access and land use permits. It is the responsibility of the applicant to obtain any such authorizations as may be necessary for this proposal. It is recommended that the applicant coordinate with potentially impacted landowners prior to initiating stream alteration activities.

This **ORDER** is subject to the provisions of UTAH ADMIN. CODE R. 655-6-17 of the Division of Water Rights and to UTAH CODE ANN. §§ 63G-4-302 and 73-3-14, which provide for persons or parties with legal standing to file either a Request for Reconsideration with the State Engineer or an appeal with the appropriate District Court. A Request for Reconsideration must be filed with the State Engineer within 20 days of the date of this **ORDER**. However, a Request for Reconsideration is not a prerequisite to filing a court appeal. A court appeal must be filed within 30 days after the date of this **ORDER**, or if a Request for Reconsideration has been filed, within 30 days after the date the Request for Reconsideration is denied. A Request for Reconsideration is considered denied when no action is taken within 20 days after the Request is filed.

Your contact with the Division is Chuck Williamson, who can be reached at telephone number 801-538-7404.

Dated this 5<sup>th</sup> day of January, 2023.



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Everett W. Taylor, P.E.  
Assistant State Engineer



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22-59-09SA  
January 5, 2023

Enclosure

Mailed a copy of the foregoing Order this 5<sup>th</sup> day of January, 2023, to:

ADNAN AFRIDI  
14357 SOUTH LONG RIDGE DRIVE  
HERRIMAN, UT 84096

Caleb Williams - U.S. Army Corps of Engineers, [caleb.j.williams@usace.army.mil](mailto:caleb.j.williams@usace.army.mil)  
Chase McDonald - Regional Engineer, [chasemcdonald@utah.gov](mailto:chasemcdonald@utah.gov)  
Nolan Hahn - EPA, [Hahn.Nolan@epa.gov](mailto:Hahn.Nolan@epa.gov)  
Mark Farmer - Division of Wildlife Resources, [markfarmer@utah.gov](mailto:markfarmer@utah.gov)  
Tracie J. Harrison - Division of Emergency Management, [tjharrison@utah.gov](mailto:tjharrison@utah.gov)  
Aaron Murphy - Salt Lake County Flood Control, [AMurphy@slco.org](mailto:AMurphy@slco.org)  
Adnan Afridi, [adnan.a@whiterhinoproducts.com](mailto:adnan.a@whiterhinoproducts.com)

By:

Tiffany Gonzales  
Tiffany Gonzales  
Executive Secretary

**Attachment - E**  
**Landscape Plans**



GENERAL LANDSCAPE NOTES:
















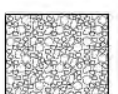
GENERAL

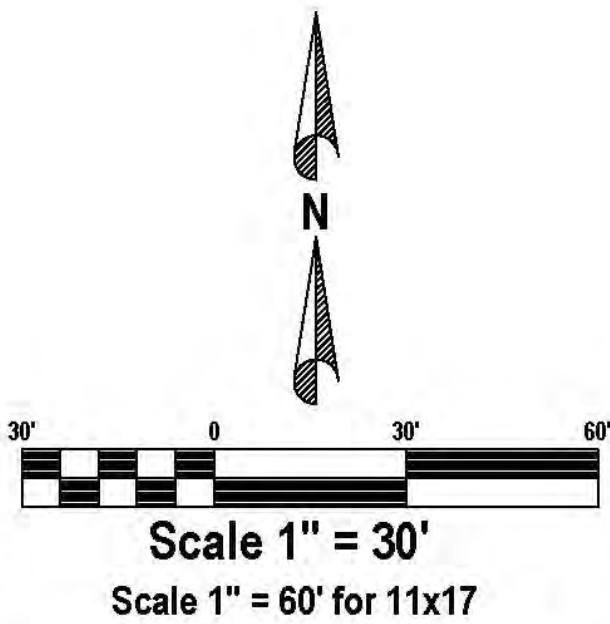
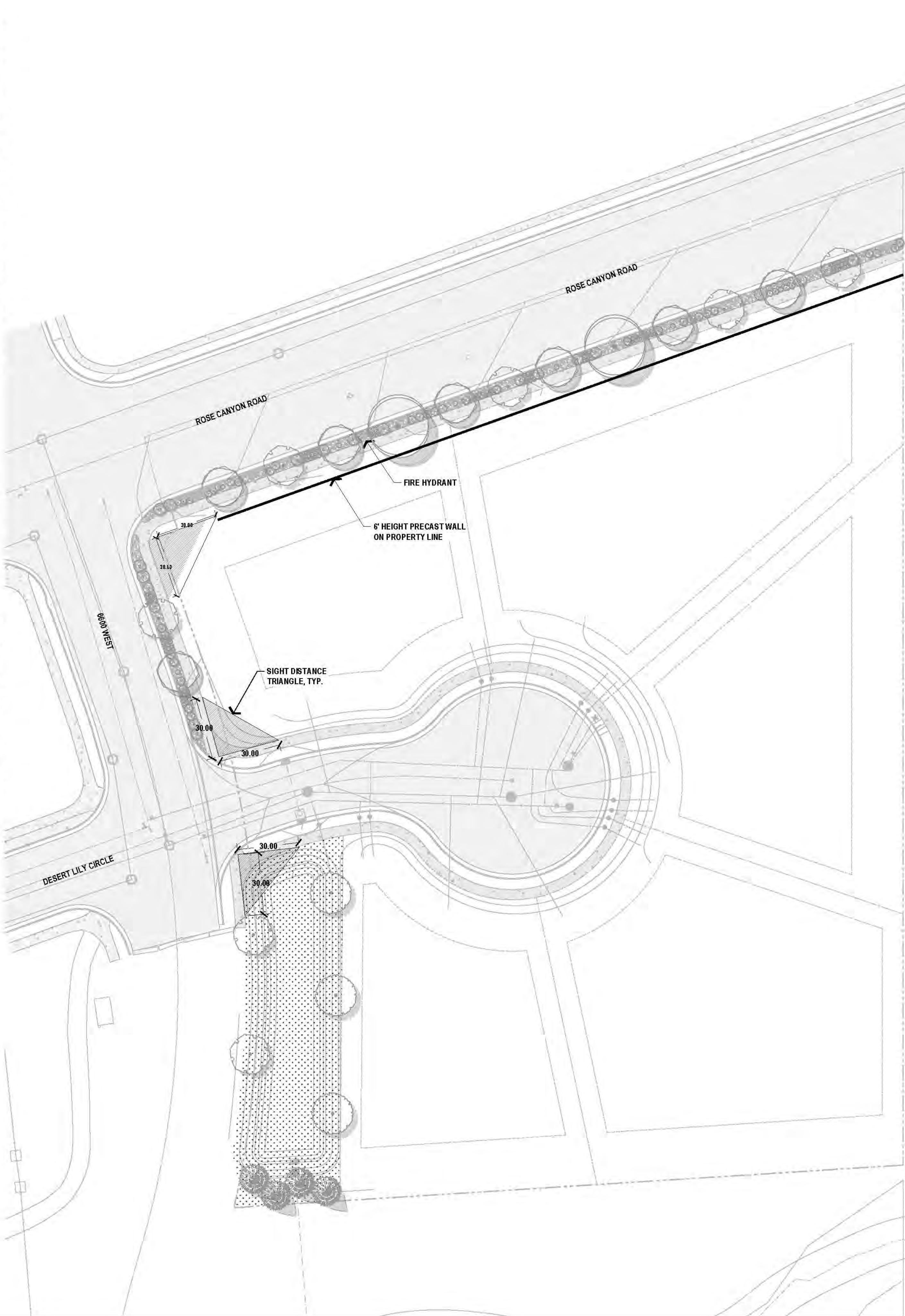
1. CODES, LAWS, REGULATIONS & PERMITS BY FEDERAL, STATE, COUNTY AND CITY AGENCIES FOR DESIGN CONCEPT, MATERIALS AND WORKMANSHIP MUST BE RESEARCHED AND SATISFIED BY THE CONTRACTOR. REPORT ANY PROBLEMS OR REQUIREMENTS TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR MUST VERIFY THE REGULATIONS FOR AND SECURE ANY PERMITS BEFORE BEGINNING CONSTRUCTION. THE COST FOR THE PERMIT FEES MAY BE SUBMITTED TO THE OWNER FOR REIMBURSEMENT. CALL BLUE STAKES AND REFER TO DRAINAGE AND CIVIL PLANS BEFORE ANY TRENCHING OR EXCAVATION.
2. CONSTRUCTION SAFETY & CLEANUP MUST MEET OSHA STANDARDS AT ALL TIMES. ALL CONTRACTORS MUST HAVE ADEQUATE LIABILITY, PERSONNEL INJURY AND PROPERTY DAMAGE INSURANCE. CLEAN UP MUST BE PERFORMED DAILY, AND ALL HARDSCAPE ELEMENTS MUST BE WASHED FREE OF DIRT AND MUD ON FINAL CLEAN UP. CONSTRUCTION MUST OCCUR IN A TIMELY MANNER.
3. LANDSCAPE PLANS AND DETAIL DRAWINGS ARE SCHEMATIC ONLY, DISCREPANCIES MAY EXIST, INCLUDING BUT NOT LIMITED TO BUILDING LOCATION, PROPERTY LINES, ANY DIMENSIONS SPECIFIED OR IMPLIED. THE CONTRACTOR WILL BE REQUIRED TO ADJUST PLANS AS NECESSARY TO RETAIN CONCEPT INTEGRITY. CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT IF DISCREPANCIES EXIST.
4. PLANT MATERIAL, EXCAVATION, CONTRACTOR TO CALL BLUE STAKE AND MAKE REFERENCE TO DRAINAGE AND CIVIL PLANS BEFORE EXCAVATION FOR PLANT MATERIAL. ALL HOLES MUST ALLOW FOR A MINIMUM OF SIX (6) INCHES OF SPECIFIED PLANTING MIX BACKFILL MATERIAL ON ALL SIDES OF ROOT BALL FOR SHRUBS, AND 3X BALL DIAMETER FOR TREES.
1. ALL WORK IS TO BE PERFORMED BY AN EXPERIENCED LANDSCAPE CONTRACTOR WITH NO LESS THAN FIVE(6) YEARS OF EXPERIENCE OF PROJECTS SIMILAR IN SCOPE AND SIZE.
2. THE LANDSCAPE CONTRACTOR IS TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION, ALL UTILITIES MUST BE CLEARLY MARKED. BEFORE EXCAVATION ALL UTILITIES ARE TO BE POT-HOLED BY HAND OR EQUIPMENT IN A MANNER THAT DOES NOT CAUSE DAMAGE.
- UTILITY SETBACKS:  
WATER & SEWER LINES - 10 FEET  
GAS LINES - 4 FEET  
FIRE HYDRANTS: 5 FEET (LIMIT PLANT HEIGHT TO 4")
3. CONTRACTOR TO VERIFY ALL PLANT LOCATIONS AND QUANTITY BEFORE INSTALLATION. IF DISCREPANCIES BETWEEN PLAN AND PLANTING SCHEDULE EXIST, PLAN TAKES PRECEDENCE OVER PLANTING SCHEDULE.
4. ANY FIELD ADJUSTMENTS TO PLANT LOCATIONS SHALL BE MADE UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE. ANY PLANT LOCATION ADJUSTMENTS OR SUBSTITUTIONS SHALL BE APPROVED BY OWNER PRIOR TO ANY CHANGE FROM THE APPROVED LANDSCAPE PLAN.
5. THE WARRANTY PERIOD UNLESS STATED OTHERWISE WILL BE ONE YEAR AFTER SUBSTANTIAL COMPLETION. ALL LANDSCAPE MATERIAL DAMAGED OR DEAD DUE TO INSTALLATION METHODS WILL BE REPLACED AT OWNERS DISCRETION.
- PLANTING
8. TOP SOIL MUST BE A PREMIUM QUALITY DARK SANDY LOAM, FREE OF ROCKS, CLODS, ROOTS, AND PLANT MATTER. THE TOPSOIL WILL BE EVENLY SPREAD AND SMOOTH GRADED ON A CAREFULLY PREPARED SUBGRADE TO A DEPTH OF SIX (6) INCHES IN SHRUB AREAS, SIX (6) INCHES UNDER SOD AREAS.
9. ALL TREES IN TURF AREAS ARE TO BE PLANTED WITH SHREDDED CEDAR MULCH AT A DEPTH OF 4". NO WEED BARRIER FABRIC UNDER CEDAR MULCH.
10. STAKE ALL TREES WITH 6" TREATED WOOD POSTS. USE GUY WIRES WITH NON-STRETCH NYLON PROTECTIVE STRAPS AROUND TRUNK.  
2 STAKES PER DECIDUOUS TREE  
2 STAKES PER EVERGREEN TREE
11. ALL PLANTING PITS ARE TO BE CLEARED OF ALL ROCK, SUB BASE MATERIAL, AND DEBRIS. AMENDED TOPSOIL TO BE INSTALLED WITHIN, PER DETAIL.
12. NO FINAL GRADES CAUSING DRAINAGE AWAY FROM CURBS, DESIGNATED DRAINAGE INLETS, OR STAGNATE WATER WILL BE ALLOWED.
13. ALL TREES TO BE BALLED & BURLAP WITH SIZES AND SPECIES TRUE TO THE PLANT LEGEND.
14. TREE WRAPPING MAY BE USED TO PROTECT YOUNG TREES FROM WINTER DAMAGE. TREE WRAPS SHALL BE INSTALLED IN THE FALL. IF THE CONTRACTOR INSTALLS WRAPS FOR TREE PROTECTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROMPTLY REMOVE WRAPS THE FOLLOWING SPRING.
15. PLANT SUBSTITUTIONS SHALL BE REQUESTED IN WRITING AND APPROVED BY THE OWNER PRIOR TO CONSTRUCTION.
16. ALL PLANTING MATERIAL SHALL BE APPROVED AND INSPECTED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION. TREE AND SHRUB TAGS SHALL BE LEFT ON PLANTS UNTIL INSPECTED.
17. LANDSCAPE CONTRACTOR IS TO COORDINATE SCHEDULE IN A MANNER THAT ALLOWS PLANTING MATERIAL TO BE INSTALLED IN A TIMELY MANNER. IF TEMPORARY STORAGE IS NECESSARY, CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FROM WEATHER AND HEAT. REGULAR WATERING IS REQUIRED UNTIL INSTALLATION.
18. NO OPEN PLANTING PITS SHALL BE LEFT OPEN OR UNATTENDED.
19. THE PLANT SCHEDULE IS FOR REFERENCE ONLY, CONTRACTOR TO VERIFY ALL QUANTITIES AND LOCATIONS SHOWN ON THE LANDSCAPE PLAN.
20. ALL PLANTING MATERIAL SHALL COMPLY TO THE STANDARDS OF ANSI FOR NURSERY STOCK.
- GROUND COVERS/MULCHES
21. THE FINAL GRADE IN TURF AREAS ARE TO BE 1" BELOW ANY PAVED SURFACE OR EDGING IN ORDER TO RETAIN SOD.
22. THE FINAL GRADE IN ALL MULCHED AREAS ARE TO BE 4" BELOW ANY PAVED SURFACE OR EDGING IN ORDER TO RETAIN MULCH.
23. ROCK MULCH AREAS ARE TO HAVE WEED BARRIER FABRIC INSTALLED UNDERNEATH. DEPTH OF ROCK MULCH SHALL BE 4" MINIMUM & OBTAINED FROM A LOCAL SUPPLIER, OWNER TO APPROVE PROVIDED SAMPLE BEFORE INSTALLATION.

24. WEED BARRIER FABRIC IS TO BE POLYSPUN 300, DEWITT PRO 5.5 OR APPROVED EQUAL. SECURE FABRIC WITH COMMERCIAL GRADE FABRIC PINS, 6" LONG BY 1" WIDE. LAY FABRIC PARALLEL TO FINAL GRADE WITH 6" OVERLAPS BETWEEN SECTIONS.
25. WOOD MULCH AREAS DO NOT REQUIRE WEED BARRIER FABRIC. DEPTH OF WOOD MULCH SHALL BE 4" MINIMUM & OBTAINED FROM A LOCAL SUPPLIER, OWNER TO APPROVE PROVIDED SAMPLE BEFORE INSTALLATION.
- TURF
10. SOD MUST BE PREMIUM QUALITY, ULTRA GREEN, EVENLY CUT, ESTABLISHED, HEALTHY, WEED AND DISEASE FREE, AND FROM AN APPROVED SOURCE. SOD MUST BE DELIVERED AND LAID IMMEDIATELY AFTER CUTTING. SOD MUST BE LAID WITHOUT GAPS BETWEEN PIECES ON A CAREFULLY PREPARED TOPSOIL LAYER. THE LAID SOD MUST BE IMMEDIATELY WATERED AFTER INSTALLATION. ANY BURNED AREAS WILL REQUIRE REPLACEMENT. ADJUST SPRINKLER SYSTEM TO ASSURE HEALTHY GREEN SURVIVAL OF THE SOD WITHOUT WATER WASTE.
11. REFER TO LANDSCAPE PLAN AND SCHEDULE FOR ALL TURF AREAS. TURF SHALL BE AN IMPROVED KENTUCKY BLUEGRASS VARIETY WITH AT LEAST THREE VARIETIES.
12. CONTRACTOR TO SUBMIT PRODUCT INFORMATION TO OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
13. LAY TURF WITHIN 24 HOURS OF DELIVERY, PRIOR TO INSTALLATION THE CONTRACTOR SHALL HAVE THE IRRIGATION SYSTEM FULLY OPERATIONAL. TURF SHALL BE FREE OF NOXIOUS WEEDS AND IN HEALTHY CONDITION. ALL DEBRIS 1 INCH OR GREATER SHALL BE REMOVED.
14. ON FINAL GRADES 3:1 OR GREATER, CONTRACTOR TO STABILIZE ROLLS WITH WOOD PEGS OR SOD STAPLES. TURF TO BE LAID PARALLEL TO SLOPE, STAGGER ROLLS WITH NO OVERLAPPING OR GAPS.
15. AFTER TURF IS INSTALLED, ALL AREAS ARE TO BE IMMEDIATELY IRRIGATED. CONTRACTOR TO ERECT FENCING OR WARNING TAP AROUND TURF AREAS TO DETER FOOT TRAFFIC DURING THE ENTIRETY OF THE WARRANTY PERIOD OR UNTIL SOD IS COMPLETELY ESTABLISHED.
- SEED
18. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE SEEDED UNLESS STATED OTHERWISE.
19. SEEDING SHALL BE INSTALLED DURING THE TIME PERIOD BETWEEN MAY AND OCTOBER.
20. SEED SHALL BE 95% PURE LIVE SEED:  
DRYLAND SEED MIXTURE: APPLY SEED AT A RATE 30LBS / ACRE  
44% FAIRWAY CRESTED WHEATGRASS  
10% BLUE GRAMA  
10% BUTTE SIDE OATS GRAMA  
3% TEXOKA BUFFLOGRASS  
20% ANNUAL RYE GRASS  
10% WESTERN WHEAT GRASS  
3% CRITANA WHEAT GRASS  
PRAIRIE WETLAND SEED MIXTURE: APPLY SEED AT A RATE 10LBS / ACRE  
15% ALKALI BULRUSH  
15% CANADA WILDRYE  
15% SWITCHGRASS  
12% INDIAN GRASS  
7% PRAIRIE CORDGRASS  
6% SOFT STEM BULRUSH  
6% THREE SQUARE BULRUSH  
6% HARD STEM BULRUSH  
6% NEBRASKA SEDGE  
6% CREEPING SPIKERUSH  
4% BAL TIC RUSH  
2% WOOLLY SEDGE
21. ALL SEEDED AREAS SHALL BE RIPPED AND TILLED AT A DEPTH OF 4" WITH FINAL GRADE ESTABLISHED PRIOR TO SEEDING.
22. CONTRACTOR TO USE A BRILLION TYPE SEEDER WITH ROWS NOT EXCEEDING 8 INCHES. IN AREAS WHERE EQUIPMENT IS NOT PRACTICAL, HAND BROADCAST AT TWICE THE RATE.
23. NO SEEDING SHALL OCCUR DURING TIMES OF EXCESSIVE WIND OR FREEZING TEMPERATURES.
24. STRAW MULCH OR HYDRO-MULCH NEEDS TO BE INSTALLED WITHIN 24 HOURS AFTER SEEDING. STRAW MULCH IS TO BE SPREAD AT A RATE OF 2 TONS/ACRE. HYDRO-MULCH IS TO BE SPREAD AT A RATE OF 1 TON/ACRE UNIFORMLY. NO OPEN OR BARE AREAS SHALL BE ALLOWED.

- SOIL PREPARATION & EROSION CONTROL
25. AREAS RECEIVING PLANT MATERIAL SHALL BE AMENDED WITH COMMERCIAL GRADE CLASS II COMPOST.
26. COMPOST SHALL BE SPREAD AT A RATE OF 3 CY / 1000 SQ FT IN PLANTING BEDS AND TURF AREAS, 2 CY / 1000 SQ FT IN SEEDED AREAS. TILL COMPOST INTO TOPSOIL AT A DEPTH OF 6 INCHES.
27. CLEAR SOIL OF ALL ROCK, BRANCHES OR MISC. DEBRIS OVER 1 INCH IN SIZE.
- FERTILIZER
- SOD - COMMERCIAL GRADE (NPK: 18-46-0) APPLICATION RATE: 10LBS / 1000 SQ FT  
SEED - COMMERCIAL GRADE (NPK:18-46-0) APPLICATION RATE: 10LBS / 1000 SQ FT  
PLANTS - BIOSOLE FORTE (NPK: 7-2-1)

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	3	Acer miyabei 'Morton' TM / State Street Miyabe Maple	B&B	2"	Cal
	2	Acer negundo 'Sensation' / Sensation Box Elder	B&B	2"	Cal
	7	Tilia americana 'McKSentry' TM / American Sentry Linden	B&B	2"	Cal
	7	Ulmus japonica x pumila 'New Horizon' / New Horizon Elm	B&B	2"	Cal
EVERGREEN TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	4	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Limber Pine	B&B		6'
DECIDUOUS SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT		
	27	Caryopteris x clandonensis 'Blue Mist' / Blue Mist Bluebeard	5 gal		
	74	Lawandula angustifolia 'Hidcote' / Hidcote Blue Lavender	5 gal		
	28	Physocarpus monogynus 'Dart's Gold' / Mountain Ninebark	5 gal		
	18	Potentilla fruticosa 'McKay's White' / McKay's White Bush Cinquefoil	5 gal		
	12	Rosa woodsii / Mountain Rose	5 gal		
EVERGREEN SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT		
	6	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper	5 gal		
	12	Juniperus sabina 'Arcadia' / Arcadia Juniper	5 gal		
ORNAMENTAL GRASSES	QTY	BOTANICAL / COMMON NAME	CONT		
	34	Bouteloua curtipendula / Side Oats Grama	1 gal		
	42	Schizachyrium scoparium 'Prairie Blues' / Prairie Blues Little Bluestem	1 gal		
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT		
	8,390 sf	BioGrass / BioMeadow - Fine Fescue	Sod		
MULCH	QTY	BOTANICAL / COMMON NAME	CONT		
	5,789 sf	3/4" Minus River Rock / 3" Depth w/Dewitt Pro-5 Weed Barrier	Mulch		



KAYSAN COVE  
HERRIMAN CITY, UTAH

OVERALL LANDSCAPE  
PLAN



380 E Main St, Suite 204  
Midway, Ut 84049 ph. (801) 723-2000

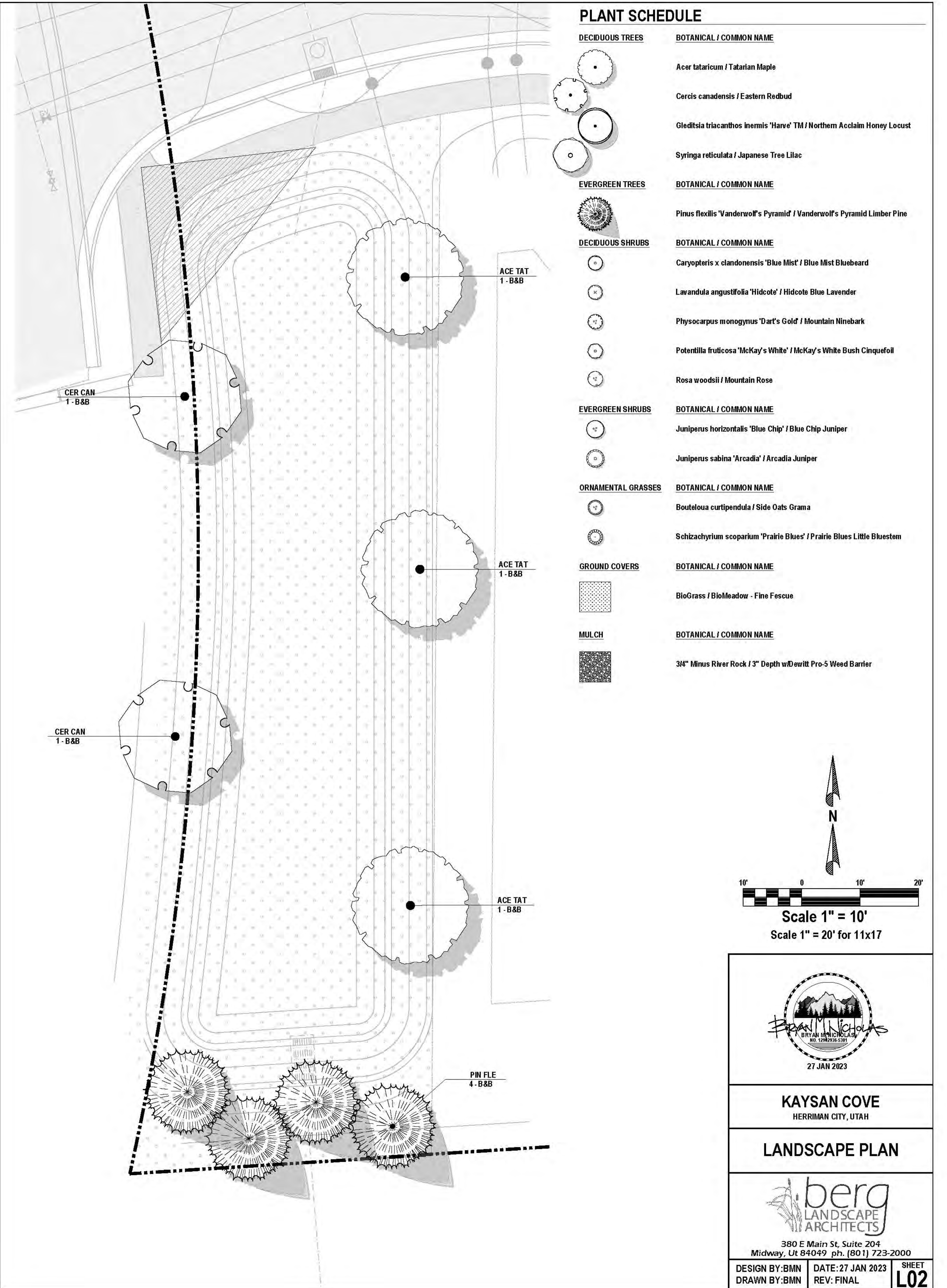
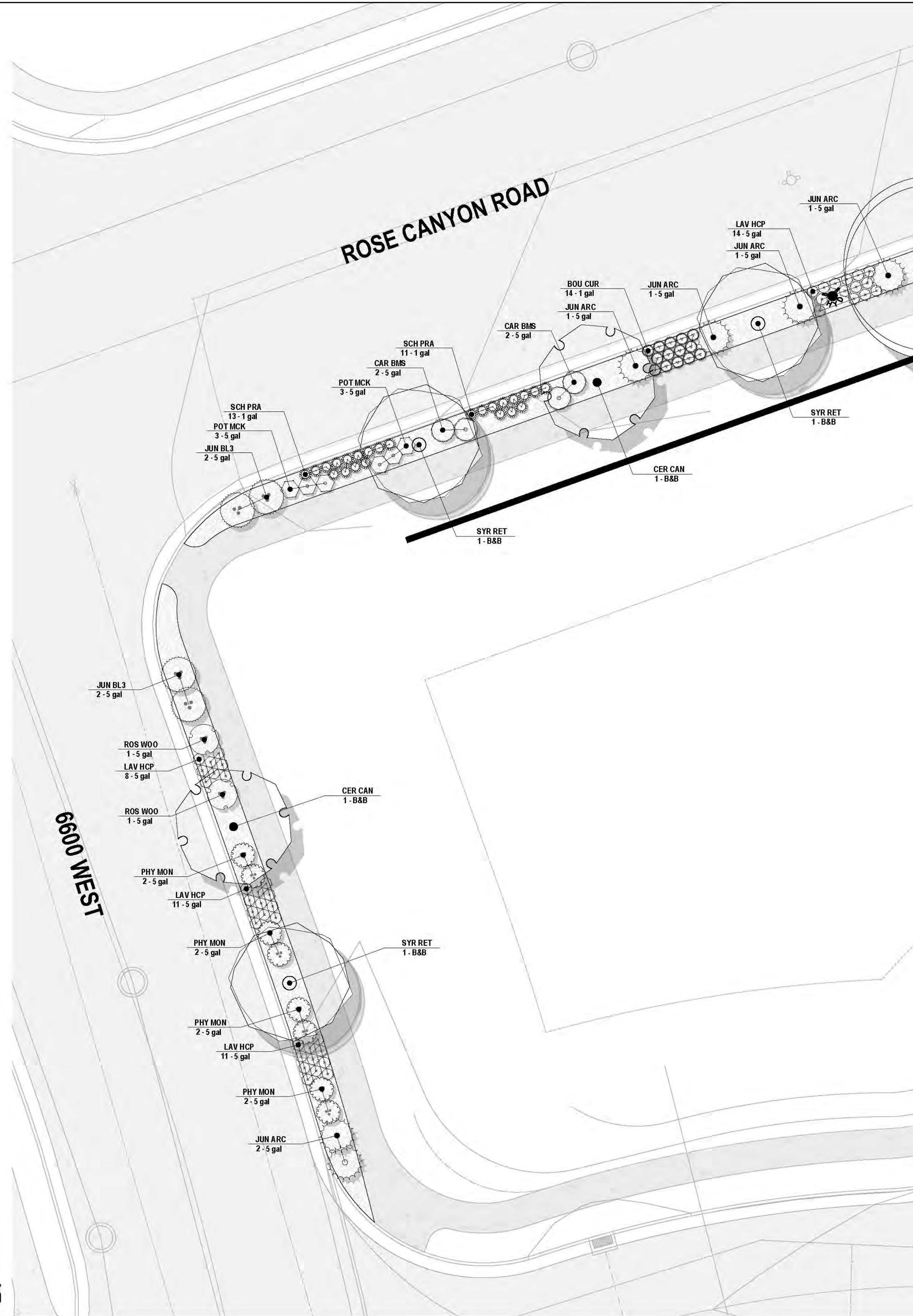
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DRAWN BY:BMN

DATE:27 JAN 2023  
REV: FINAL

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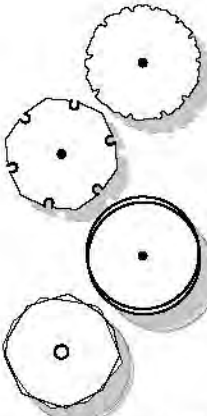


ROSE CANYON ROAD

PLANT SCHEDULE

DECIDUOUS TREES

BOTANICAL / COMMON NAME



- Acer tataricum / Tatarian Maple
- Cercis canadensis / Eastern Redbud
- Gleditsia triacanthos inermis 'Harve' TM / Northern Acclaim Honey Locust
- Syringa reticulata / Japanese Tree Lilac

EVERGREEN TREES

BOTANICAL / COMMON NAME



- Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Limber Pine

DECIDUOUS SHRUBS

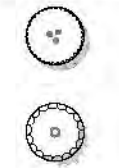
BOTANICAL / COMMON NAME



- Caryopteris x clandonensis 'Blue Mist' / Blue Mist Bluebeard
- Lavandula angustifolia 'Hidcote' / Hidcote Blue Lavender
- Physocarpus monogynus 'Dart's Gold' / Mountain Ninebark
- Potentilla fruticosa 'McKay's White' / McKay's White Bush Cinquefoil
- Rosa woodsii / Mountain Rose

EVERGREEN SHRUBS

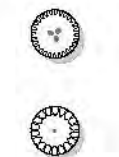
BOTANICAL / COMMON NAME



- Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper
- Juniperus sabina 'Arcadia' / Arcadia Juniper

ORNAMENTAL GRASSES

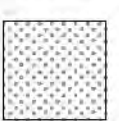
BOTANICAL / COMMON NAME



- Bouteloua curtipendula / Side Oats Grama
- Schizachyrium scoparium 'Prairie Blues' / Prairie Blues Little Bluestem

GROUND COVERS

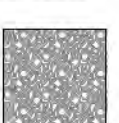
BOTANICAL / COMMON NAME



- BioGrass / BioMeadow - Fine Fescue

MULCH

BOTANICAL / COMMON NAME



- 3/4" Minus River Rock / 3" Depth w/Dewitt Pro-5 Weed Barrier



Scale 1" = 10'

Scale 1" = 20' for 11x17



KAYSAN COVE  
HERRIMAN CITY, UTAH

LANDSCAPE PLAN



380 E Main St, Suite 204  
Midway, UT 84049 ph. (801) 723-2000

DESIGN BY: BMN  
DRAWN BY: BMN

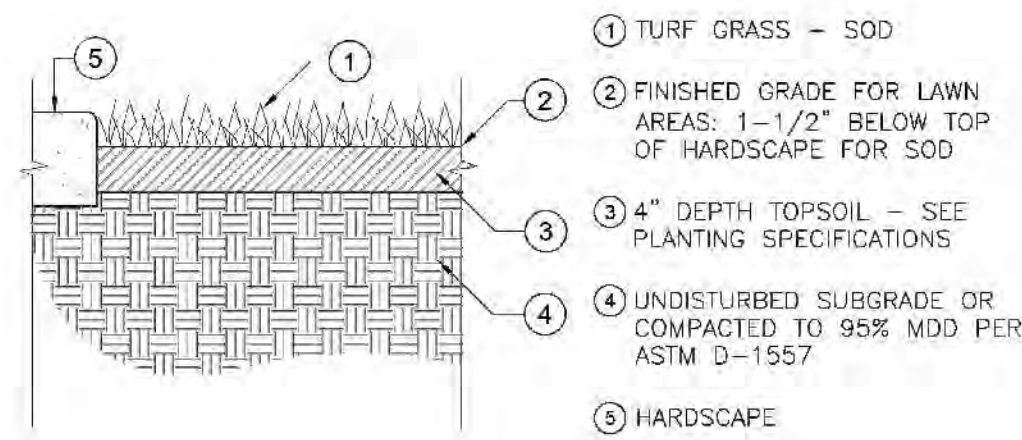
DATE: 27 JAN 2023  
REV: FINAL

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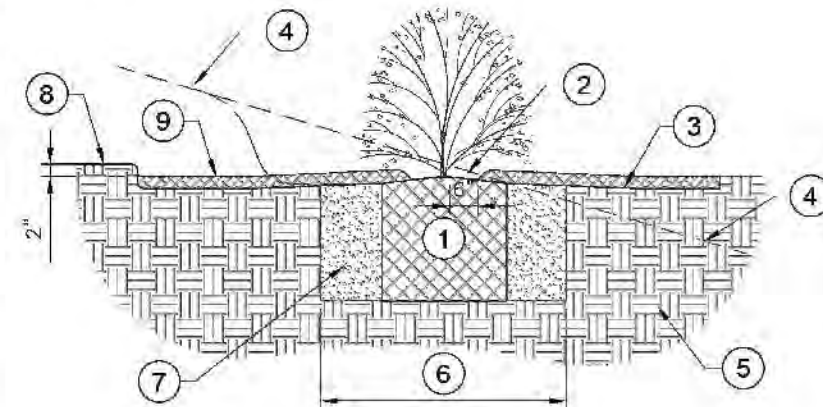
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HERRIMAN CITY  
ENGINEERING DEPARTMENT  
LANDSCAPE  
TURF GRASS, SOD/SEED

LP-01

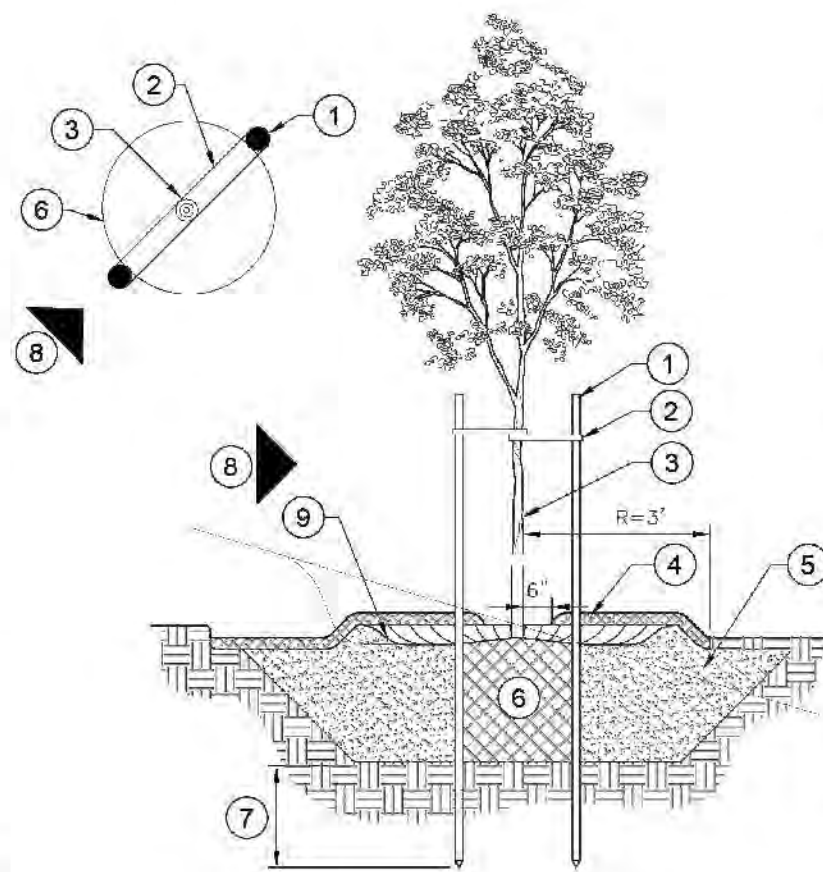
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HERRIMAN CITY  
ENGINEERING DEPARTMENT  
LANDSCAPE  
PERENNIAL PLANTING

LP-05

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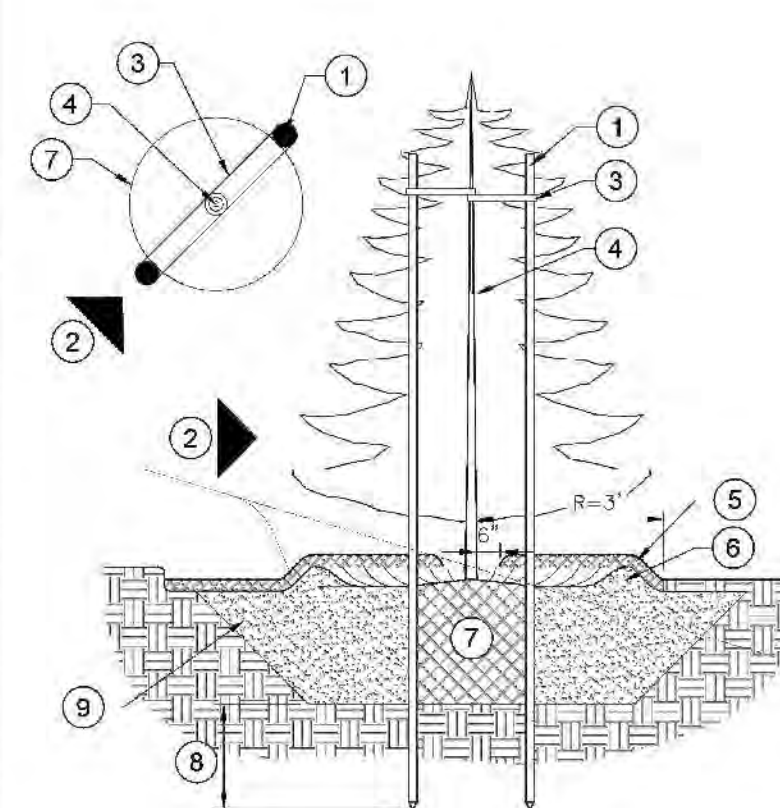
NOTE: STAKES SHALL BE REMOVED AFTER 1 FULL GROWING SEASON.



HERRIMAN CITY  
ENGINEERING DEPARTMENT  
LANDSCAPE  
DECIDUOUS TREE STAKING W/ WATERING BASIN

LP-06

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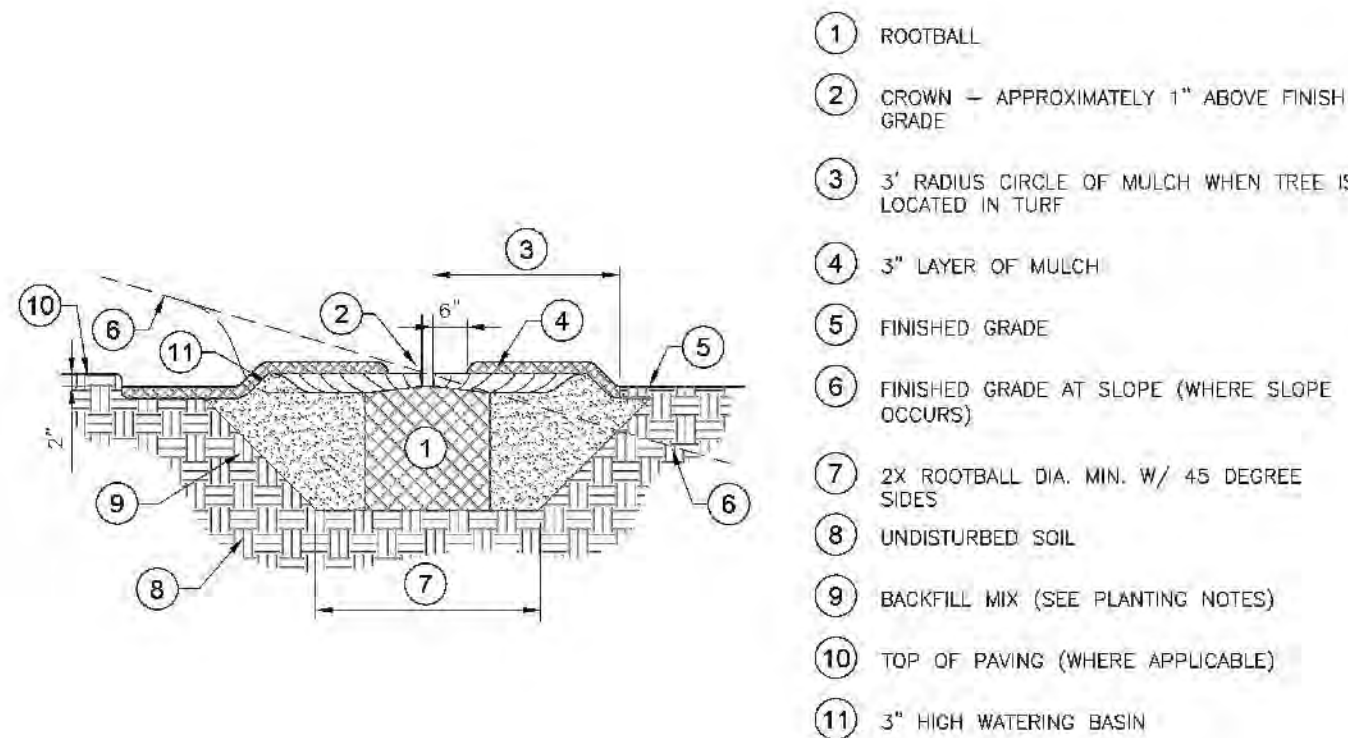
NOTE: STAKES SHALL BE REMOVED AFTER 1 FULL GROWING SEASON.



HERRIMAN CITY  
ENGINEERING DEPARTMENT  
LANDSCAPE  
EVERGREEN TREE STAKING W/ WATERING BASIN

LP-07

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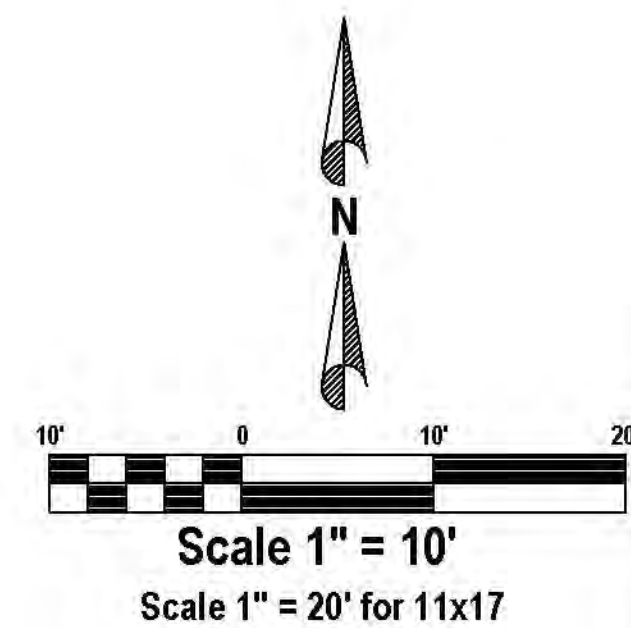
#### NOTES:

1. PRUNE CIRCLING ROOTS, PROTRUDING ROOT STUBS, AND FIBROUS MATTED ROOTS FLUSH WITH THE ROOT BALL. HANDLE ROOT BALL WITH CARE. MINIMIZE CRUMBLING, CRACKING, AND SPLITTING.
2. AFTER PLACING THE TREE IN THE HOLE, REMOVE WIRE AND BURLAP. LEAVE NO TWINE OR BURLAP ON OR NEAR THE SURFACE OF THE BALL OR AROUND THE TRUNK. CUT VERTICAL SLITS IN BURLAP THAT REMAINS. DO NOT FOLD BURLAP INTO THE HOLE.
3. SLIDE ROOT BALLS OUT OF CONTAINERS. DO NOT PULL ON THE TRUNK. IF THE ROOT BALL IS TOO LARGE, CUT THE CONTAINER OFF AFTER THE TREE IS PLACED IN THE PLANTING HOLE.
4. USE SOIL REMOVED FROM THE HOLE AS BACKFILL. IF SOIL IS BASE COURSE MATERIAL, MIX WITH 1/3 ORGANIC MULCH. MIX THOROUGHLY.
5. COMPACT BACKFILL IN 6" LAYERS. WATER. ALLOW WATER TO SOAK DEEPLY INTO THE SOIL. MAKE SURE ROOT BALL GETS THOROUGHLY WET.
6. FERTILIZER SHALL BE PROVIDED IN EACH BASIN AT THE TIME OF INSTALLATION. FERTILIZER APPLICATION SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.



HERRIMAN CITY  
ENGINEERING DEPARTMENT  
LANDSCAPE  
TREE/SHRUB PLANTING W/ WATERING BASIN

LP-08



KAYSAN COVE  
HERRIMAN CITY, UTAH

LANDSCAPE DETAILS



380 E Main St, Suite 204  
Midway, UT 84049 ph. (801) 723-2000

DESIGN BY:BMN  
DRAWN BY:BMN

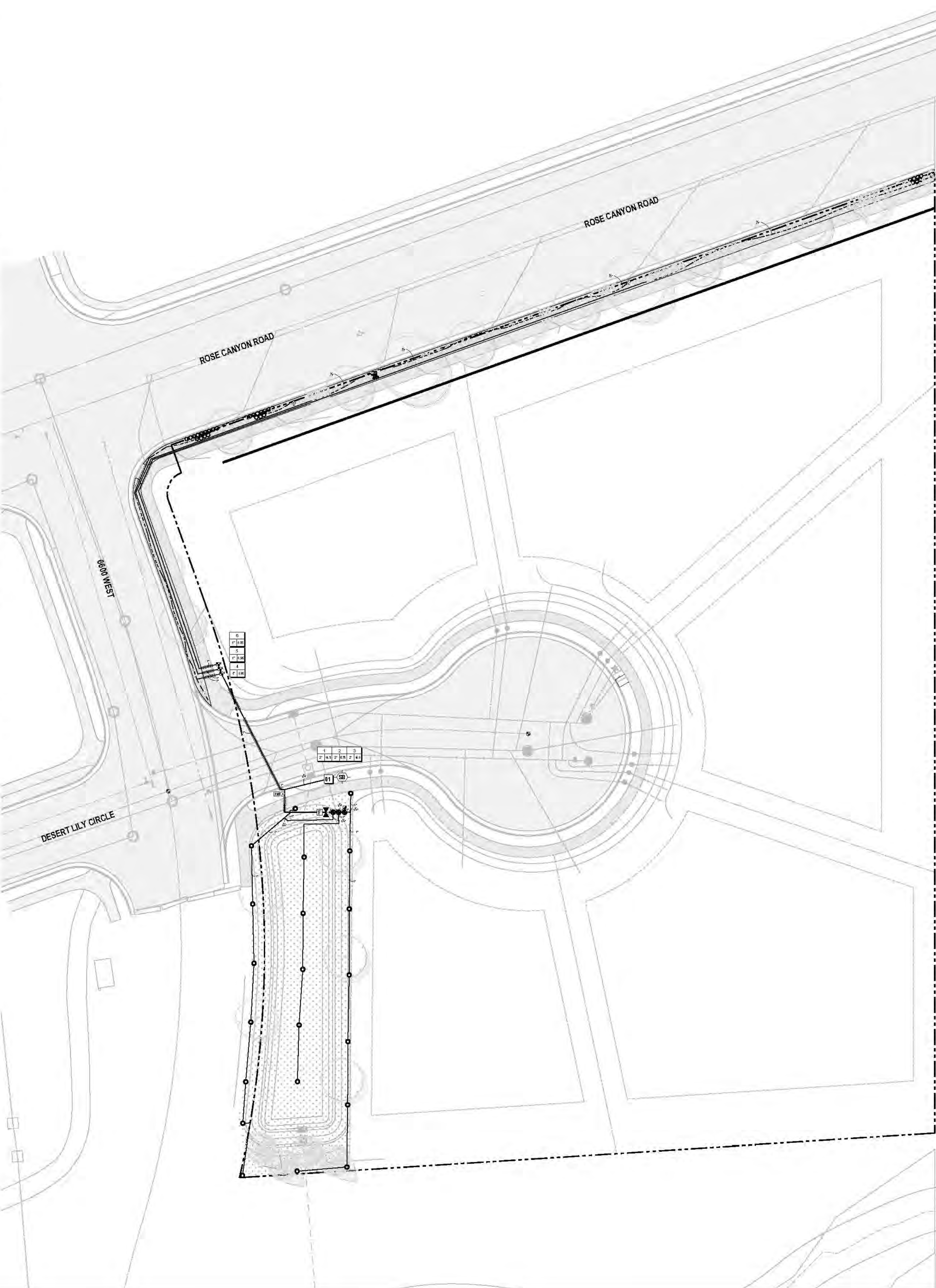
DATE: 27 JAN 2023  
REV: FINAL

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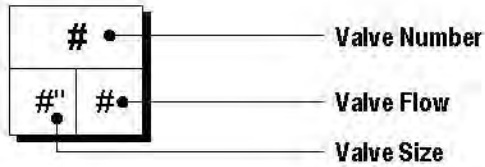
GENERAL IRRIGATION NOTES:

1. THE DRAWINGS ARE TO BE CONSIDERED DIAGRAMMATIC, AS IT MAY NOT BE POSSIBLE TO ACCURATELY DEPICT THE EXACT LOCATIONS FOR ALL MATERIAL, OR ANTICIPATE THOSE IN-FIELD VARIATIONS WHICH MAY REQUIRE ADJUSTMENT ON SITE. THE INSTALLER SHALL BE EXPECTED TO MAKE MINOR MODIFICATIONS WHICH MAY BE NECESSARY TO MAINTAIN COMPLETE AND ACCURATE COVERAGE, WITHOUT DEVIATION FROM THE DESIGN CONCEPTS OR INTENT. THE FINAL LOCATIONS OF ALL MAJOR EQUIPMENT, SUCH AS CONTROLLERS, VALVES, SUPPLY CONNECTIONS, MAINLINES, ETC. SHALL BE DETERMINED IN THE FIELD, USING THE DRAWINGS AS A GUIDE, AND APPROVED PRIOR TO INSTALLATION.
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH PREVAILING CODES AND REGULATIONS. ALTHOUGH DUE DILIGENCE HAS BE EXERCISED IN THE PREPARATION OF THE DOCUMENTS TO AVOID CONFLICTS. THE RESPONSIBILITY FOR VERIFICATION AND CONFORMANCE TO THE PARTICULAR CODES FOR THIS LOCATION SHALL REMAIN SOLELY THAT OF THE INSTALLER, THE INSTALLER SHALL OBTAIN ANY NECESSARY LOCATES, PERMITS AND INSPECTIONS.
3. ALL WORK SHALL BE CLOSELY COORDINATED WITH THAT OF OTHER TRADES, IN ORDER TO AVOID CONFLICTS. THE INSTALLATION SHALL BE COORDINATED WITH ALL NEW AND EXISTING IMPROVEMENTS, AND WITH THE ACTUAL BEDLINES, SOD LIMITS AND PLANT LOCATIONS.
4. ALL MATERIAL AND LABOR REQUIRED TO PROVIDE A COMPLETE, OPERATIONAL, AND FULLY GUARANTEED SYSTEM SHALL BE CONSIDERED PART OF THE WORK, WHETHER OR NOT THEY ARE SPECIFICALLY INDICATED IN THE DOCUMENTS. LANDSCAPE CONTRACTOR SHALL CHANGE NOZZLES AS NECESSARY TO ASSURE PROPERTY COVERAGE, TAKING INTO CONSIDERATION ON SITE OBSTRUCTIONS, PREVAILING WINDS, ETC. ANY MATERIAL NECESSARY FOR COMPLETE COVERAGE SHALL BE ADDED BY THE LANDSCAPE CONTRACTOR AT NO EXTRA COST TO THE OWNER (I.E. HEADS, PIPE, FITTINGS).
5. THE DRAWINGS ARE TO BE CONSIDERED DIAGRAMMATIC, AS IT MAY NOT BE POSSIBLE TO ACCURATELY DEPICT THE EXACT LOCATIONS FOR ALL MATERIAL, OR ANTICIPATE THOSE IN-FIELD VARIATIONS WHICH MAY REQUIRE ADJUSTMENT ON SITE. THE INSTALLER SHALL BE EXPECTED TO MAKE MINOR MODIFICATIONS WHICH MAY BE NECESSARY TO MAINTAIN COMPLETE AND ACCURATE COVERAGE, WITHOUT DEVIATION FROM THE DESIGN CONCEPTS OR INTENT. THE FINAL LOCATIONS OF ALL MAJOR EQUIPMENT, SUCH AS CONTROLLERS, VALVES, SUPPLY CONNECTIONS, MAINLINES, ETC. SHALL BE DETERMINED IN THE FIELD, USING THE DRAWINGS AS A GUIDE, AND APPROVED PRIOR TO INSTALLATION.
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9. UNLESS SPECIFICALLY STATED IN THE DOCUMENTS, ALL MAINLINE PIPING AND WIRING PASSING UNDER PAVED SURFACES SHALL BE SLEEVED WITH SCH. 40 PVC SIZED TWO SIZES LARGER THAN THE CONTAINED PIPE, OR 1" OR LARGER AS NEEDED FOR CONTROL WIRING. LATERAL PIPING PASSING UNDER TRAFFIC-BEARING PAVEMENT OF ANY WIDTH, OR UNDER SIDEWALKS 4' IN WIDTH OR GREATER, SHALL BE SLEEVED IN A SIMILAR MANNER. IT SHALL BE ASSUMED THAT ALL SLEEVING IS TO BE PART OF THIS WORK, UNLESS SPECIFICALLY EXCEPTED IN THE DOCUMENTS. ANY NEEDED SLEEVES WHICH ARE UNUSABLE OR CANNOT BE FOUND SHALL BE REPORTED IMMEDIATELY TO THE PROJECT MANAGER. ROADWAY/DRIVEWAY SLEEVES ARE CALLED OUT ON THIS DRAWING. ALL SIDEWALK SLEEVES ARE NOT SHOWN, BUT ARE UNDERSTOOD.
10. CONTROL WIRING SHALL BE ROUTED WITH THE MAINLINE WHEREVER POSSIBLE.
11. ALL HEADS SHALL BE OF THE PROPER TYPE FOR THE PLANT MATERIAL WHERE LOCATED, AND SHALL BE INSTALLED IN THE PRESCRIBED MANNER, PLUMB, AND WITH THE PROPER HEIGHT WITH RESPECT TO GRADE AND PLANT HEIGHT. ALL HEADS AND OTHER EQUIPMENT SHALL BE INSTALLED WITH ADEQUATE AND UNIFORM CLEARANCES FROM ALL PAVING, CURBS, SIDEWALKS, WALLS, AND OTHER OBSTACLES, SO THAT DAMAGE TO EQUIPMENT DOES NOT OCCUR DURING LANDSCAPE MAINTENANCE OPERATIONS. ALL SPRINKLERS SHALL BE ADJUSTED TO OBTAIN MAXIMUM COVERAGE OF PLANT MATERIAL. WHILE MINIMIZING OVERSPRAY ONTO WINDOWS OR WALLS, OR OTHER IMPERVIOUS SURFACES, PARTICULARLY WOODWORK AND/OR TRIM. THE INSTALLER SHALL UTILIZE SUITABLE PRESSURE-COMPENSATING SCREENS OR ADJUSTABLE-ARC NOZZLES WHERE REQUIRED TO ACHIEVE MAXIMUM COVERAGE CONTROL.
12. EACH CONTROLLER SHALL REQUIRE A STANDARD 120-VAC POWER FEED, WHICH SHALL BE COORDINATED AND HOOKED UP BY THE INSTALLER OR HIS DESIGNATED ELECTRICIAN. A 3 WIRE POWER INPUT SURGE ARRESTOR SHALL BE PROVIDED ON THE POWER FEED, AND A DEDICATED GROUND ROD OR RODS SHALL BE INSTALLED, WHICH PROVIDE A RESISTANCE OF NO GREATER THAN 10 OHMS TO EARTH.
13. HARCO FITTINGS ARE REQUIRED ON AND NEAR ALL CHANGES IN DIRECTION.
14. LATERAL LINES SHALL BE NO SMALLER THAN 1". PIPES SHALL CARRY NO MORE THAN THE FOLLOWING.
- |                  |         |
|------------------|---------|
| 1" PIPE MAX.     | 126GPM  |
| 1 1/2" PIPE MAX. | 226GPM  |
| 1 3/4" PIPE MAX. | 306GPM  |
| 2" PIPE MAX.     | 506GPM  |
| 2 1/2" PIPE MAX. | 756GPM  |
| 3" PIPE MAX.     | 1106GPM |
| 4" PIPE MAX.     | 1906GPM |
15. INSTALL MANUAL DRAINS AT ALL LOW POINTS ON THE MAINLINE PIPE WITH ADEQUATELY SIZED SUMPS.
16. THE INSTALLER SHALL BE EXPECTED TO BE FAMILIAR WITH AND FOLLOW THE INSTRUCTIONS CONTAINED HEREIN, ON THE DRAWINGS, IN THE CONSTRUCTION DETAILS, AND IN THE WRITTEN SPECIFICATIONS. SHOULD A CONFLICT BE DISCOVERED WITHIN THE DOCUMENTS, IMMEDIATELY NOTIFY THE PROJECT MANAGER AND REQUEST CLARIFICATION.
17. PROVIDE A REPRODUCIBLE IRRIGATION PLAN TO ARCHITECT AND OWNER SHOWING ALL PIPE, HEADS, VALVES, DRAINS, CLOCKS, ETC. AFTER CONSTRUCTION. PROVIDE INSTRUCTIONS TO MAINTENANCE PERSONNEL FOR WINTERIZATION. PROVIDE A COLOR CODED PLAN AT THE CONTROLLER LOCATION.



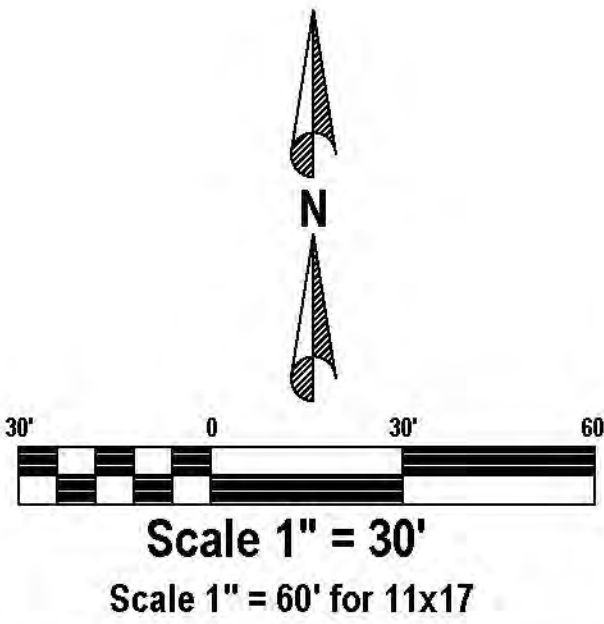
IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI	GPM	RADIUS
○	Rain Bird 5004-PL-PC-SAM-R-NP 1.5 Turf Rotor, 4" Pop-Up with Plastic Riser, Adjustable to Full Circle. Standard Angle Nozzle, In-Stem Pressure Regulator, and Flow Shut-Off Device. With Seal-A-Matic Check Valve, and Non-Potable Purple Cover.	6	35	1.35	34"
○	Rain Bird 5004-PL-PC-SAM-R-NP 2.0 Turf Rotor, 4" Pop-Up with Plastic Riser, Adjustable to Full Circle. Standard Angle Nozzle, In-Stem Pressure Regulator, and Flow Shut-Off Device. With Seal-A-Matic Check Valve, and Non-Potable Purple Cover.	15	35	1.81	36"
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI		
⌘	Rain Bird KCZ-100-FLOW Wide Flow Drip Control Kit for Commercial Applications. 1" Ball Valve with 1" PESB Valve 0.3-20 gpm and 1" Pressure Regulating 40psi Flow-Indicating Basket Filter 0.3-20 gpm.	3			
⊕	Netafim TLFV-1 Automatic Flush Valve, with Insert Inlet	3			
---	Netafim TLHCVXR-CS-053-18 Techline HCVXR-CS Pressure Compensating Landscape Dripline with Copper Stripe, Check Valve and Anti-Siphon feature. 0.53 GPH emitters at 18" O.C. 2/3 in.	478.3 l.f.	25		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY			
⌘	Rain Bird PESB 1in., 1-1/2in., 2in. Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications.	3			
⌘	Rain Bird 33-DNP 3/4" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Non-Potable Purple Rubber Cover, and 2-Piece Body.	1			
⌘	Leemco LMV-11BB 2" x 2" LMV-BB Series Mainline Gate Valve. The Bell x Bell version provides in-line isolation where the location is not near a mainline ductile iron fitting.	1			
⌘	RainMaster DX3 8-96 stations conventional/200 stations 2-wire 16 programs + independent station control (ISC) 12 start times per program 2 customizable establishment programs & up to 48 "on/dry day(s)" Dedicated port for up to 3 master valves, 3 flow sensors & 2 pumps 6 auxiliary sensor ports Electronic paper-style LCD display for use in heavy sunlight, integrated LED backlight for dark conditions (superior contrast level) Innovative soft keys for screen Specific functions & LED "ring" indicators Custom-fit clear covers for all electrical boards Pivotech™ pivoting bracket for easy installation (SPED and PSB only) Innovative "fridge light" cabinet illumination Non-volatile memory Industrial lightning/surge protection comes standard Hybrid option available Powder Coated, Metal Wall-Mounted Cabinet w/ Pedestal	1			
○	Rain Bird LNK2WIFI Upgrades controllers (ESP-M, ESP-RZ16, ST8) to Have Weather Data for ET-Based Adjustments (WaterSense Approved) & WiFi Capabilities -	1			
⌘	Amiad 2-OL-MSIG- Steel Screen Amiad 2" Mini Sigma, On-Line Self-Cleaning Filter, BSP or NPT Inlet-outlet. Stainless Steel Weavewire Screen Element. ADI-P Bluetooth Range Controller. Maximum working pressure 116psi.	1			
⊕	Strong Box SBBC-40CR High profile, tube and wire construction smooth touch surface, cold rolled steel backflow enclosure. 40"L, 39"H, 25.5"W.	1			
---	Irrigation Lateral Line: PVC Schedule 40	1,144 l.f.			
---	Irrigation Mainline: PVC Schedule 40	112.3 l.f.			
---	Pipe Sleeve: PVC Schedule 80	86.0 l.f.			
#	Valve Callout				
#	Valve Number				



CRITICAL ANALYSIS

Generated:	2022-12-15 13:06
P.O.C. NUMBER: 01	
Water Source Information:	
FLOW AVAILABLE	
Water Meter Size:	1"
Flow Available:	50 GPM
PRESSURE AVAILABLE	
Static Pressure at POC:	65 PSI
Elevation Change:	0.00 ft
Service Line Size:	8"
Length of Service Line:	20 ft
Pressure Available:	65 PSI
DESIGN ANALYSIS	
Maximum Station Flow:	14.48 GPM
Flow Available at POC:	50 GPM
Residual Flow Available:	35.52 GPM
Critical Station:	1
Design Pressure:	35 PSI
Friction Loss:	3.35 PSI
Fittings Loss:	0.34 PSI
Elevation Loss:	0 PSI
Loss through Valve:	4.8 PSI
Pressure Req. at Critical Station:	43.5 PSI
Loss for Fittings:	0.05 PSI
Loss for Main Line:	0.49 PSI
Loss for POC to Valve Elevation:	0 PSI
Loss for Backflow:	0 PSI
Loss for Water Meter:	1.15 PSI
Critical Station Pressure at POC:	45.2 PSI
Pressure Available:	65 PSI
Residual Pressure Available:	19.8 PSI



KAYSAN COVE  
HERRIMAN CITY, UTAH

OVERALL IRRIGATION  
PLAN



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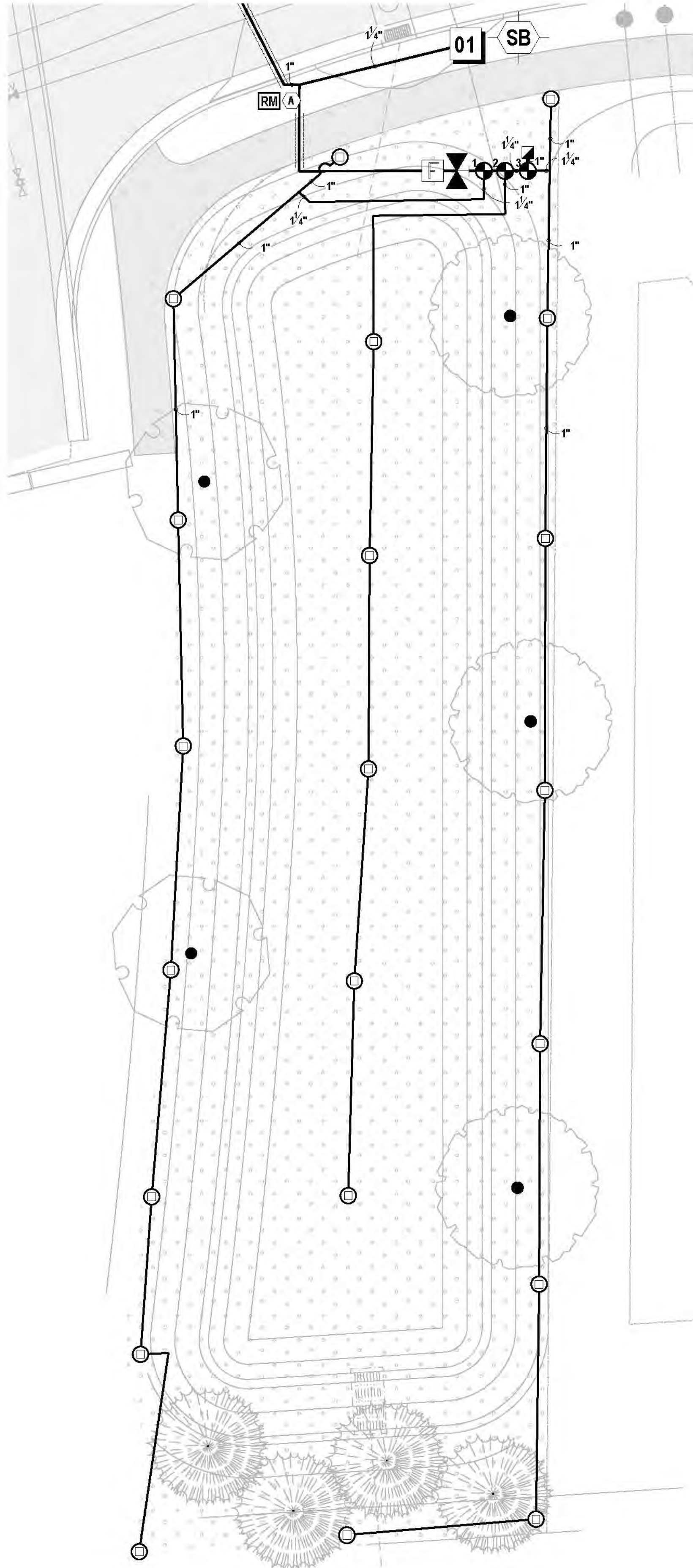
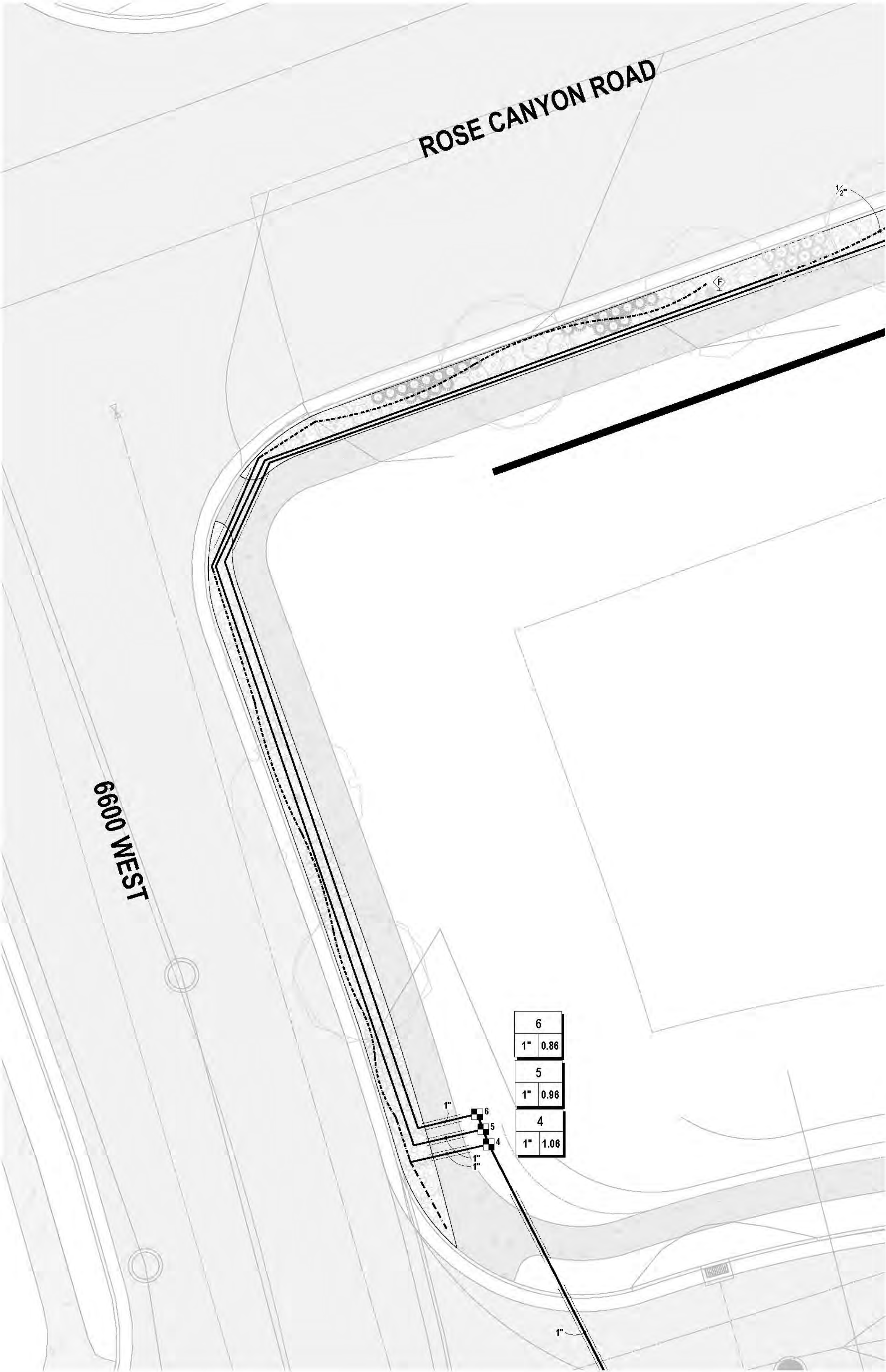
DESIGN BY: BMN  
DRAWN BY: BMN

DATE: 27 JAN 2023  
REV: FINAL

SHEET  
IR01

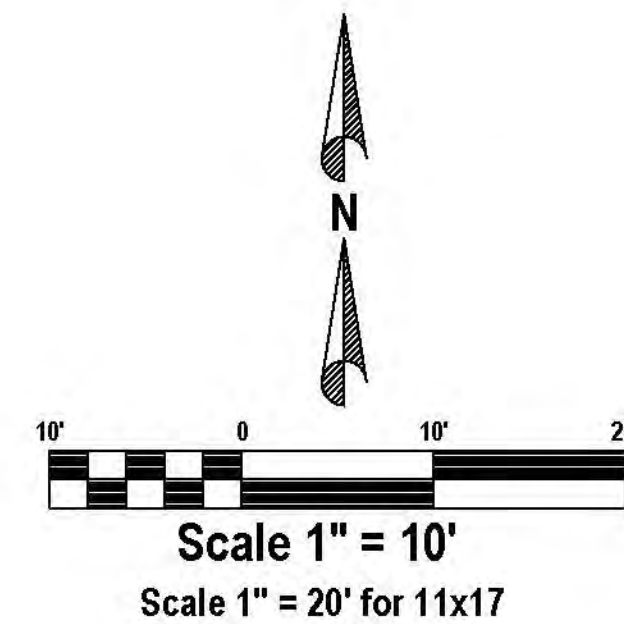






IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
○	Rain Bird 5004-PL-PC-SAM-R-NP 1.5 Turf Rotor, 4" Pop-Up with Plastic Riser. Adjustable to Full Circle. Standard Angle Nozzle, In-Stem Pressure Regulator, and Flow Shut-Off Device. With Seal-A-Matic Check Valve, and Non-Potable Purple Cover.
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SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
■	Rain Bird XCZ-100-FLOW Wide Flow Drip Control Kit for Commercial Applications. 1" Ball Valve with 1" PESB Valve 0.3-20 gpm and 1" Pressure Regulating 40psi Flow-Indicating Basket Filter 0.3-20 gpm.
⊕	Netafim TLFV-1 Automatic Flush Valve, with Insert Inlet
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SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
⊕	Rain Bird PESB 1in., 1-1/2in., 2in. Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications.
■	Rain Bird 33-DNP 3/4" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Non-Potable Purple Rubber Cover, and 2-Piece Body.
⊕	Leemco LMV-11BB 2" x 2" LMV-BB Series Mainline Gate Valve. The Bell x Bell version provides in-line isolation where the location is not near a mainline ductile iron fitting.
⊕	RainMaster DX3 8-96 stations conventional/200 stations 2-wire 16 programs + independent station control (ISC) 12 start times per program 2 customizable establishment programs & up to 48 "on/off day(s)" Dedicated port for up to 3 master valves, 3 flow sensors & 2 pumps 6 auxiliary sensor ports Electronic paper-style LCD display for use in heavy sunlight, integrated LED backlight for dark conditions (superior contrast level) Innovative soft keys for screen Specific functions & LED "ring" indicators Custom-fit clear covers for all electrical boards Pivotch™ pivoting bracket for easy installation (SPED and PSB only) Innovative "fridge light" cabinet illumination Nonvolatile memory Industrial lightning surge protection comes standard Hybrid option available Powder Coated, Metal Wall-Mounted Cabinet w/ Pedestal
⊕	Rain Bird LNK2WIFI Upgrades controllers (ESP-M, ESP-RZx, ST3) to Have Weather Data for ET-Based Adjustments (WaterSense Approved) & WIFI Capabilities -
⊕	Amiad 2-OL-MSIG-Steel Screen Amiad 2" Mini Sigma, On-Line Self-Cleaning Filter, BSPT or NPT inlet-outlet. Stainless Steel Weavewire Screen Element. ADI-P Bluetooth Range Controller. Maximum working pressure 116psi.
⊕	Strong Box SBBC-40CR High profile, tube and wire construction smooth touch surface, cold rolled steel backflow enclosure. 40"L, 39"H, 25.5"W.
---	Irrigation Lateral Line: PVC Schedule 40
---	Irrigation Mainline: PVC Schedule 40
---	Pipe Sleeve: PVC Schedule 80



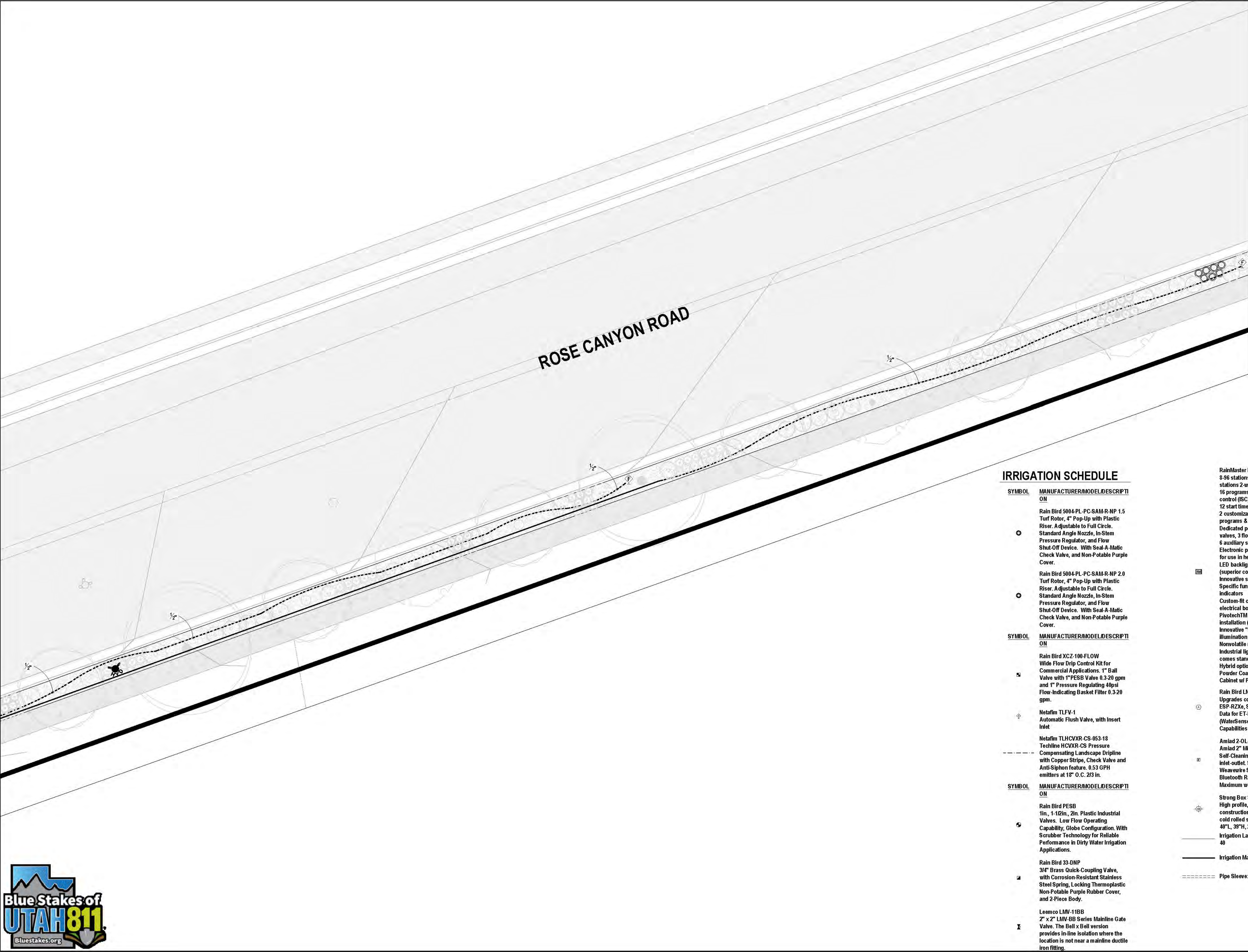
KAYSAN COVE  
HERRIMAN CITY, UTAH

IRRIGATION  
PLAN

380 E Main St, Suite 204  
Midway, UT 84049 ph. (801) 723-2000

DESIGN BY: BMN DATE: 27 JAN 2023 SHEET  
DRAWN BY: BMN REV: FINAL IIR02

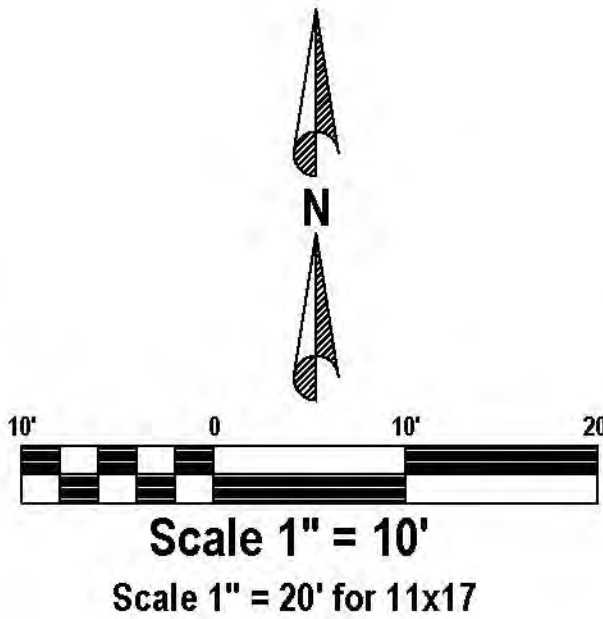




IRRIGATION SCHEDULE

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■	Rain Bird 33-DNP 3/4" Brass Quick-Coupling Valve, with Corrosion-Resistant Stainless Steel Spring, Locking Thermoplastic Non-Potable Purple Rubber Cover, and 2-Piece Body.
⌘	Leemco LMV-11BB 2" x 2" LMV-BB Series Mainline Gate Valve. The Bell x Bell version provides in-line isolation where the location is not near a mainline ductile iron fitting.

- RainMaster DX3 3-36 stations conventional/200 stations 2-wire 16 programs + independent station control (ISC) 12 start times per program 2 customizable establishment programs & up to 48 "omit day(s)" Dedicated port for up to 3 master valves, 3 flow sensors & 2 pumps 6 auxiliary sensor ports Electronic paper-style LCD display for use in heavy sunlight, integrated LED backlight for dark conditions (superior contrast level) Innovative soft keys for screen Specific functions & LED "ring" indicators Custom-fit clear covers for all electrical boards Phototech™ pivoting bracket for easy installation (SPED and PSB only) Innovative "fridge light" cabinet illumination Nonvolatile memory Industrial lightning/surge protection comes standard Hybrid option available Powder Coated, Metal Wall-Mounted Cabinet w/ Pedestal
- Rain Bird LNK2WIFI Upgrades controllers (ESP-M, ESP-RZXe, ST8) to Have Weather Data for ET-Based Adjustments (WaterSense Approved) & WiFi Capabilities -
- Amlad 2-OL-MSG- Steel Screen Amlad 2" Mini Sigma, On-Line Self-Cleaning Filter, BSPT or NPT Inlet-outlet. Stainless Steel Weavewire Screen Element. ADI-P Bluetooth Range Controller. Maximum working pressure 116psi.
- Strong Box SBBC-40CR High profile, tube and wire construction smooth touch surface, cold rolled steel backflow enclosure. 40"L, 39"H, 25.5"W.
- Irrigation Lateral Line: PVC Schedule 40
- Irrigation Mainline: PVC Schedule 40
- Pipe Sleeve: PVC Schedule 80



Scale 1" = 10'  
Scale 1" = 20' for 11x17



KAYSAN COVE  
HERRIMAN CITY, UTAH

IRRIGATION  
PLAN



380 E Main St, Suite 204  
Midway, UT 84049 ph. (801) 723-2000

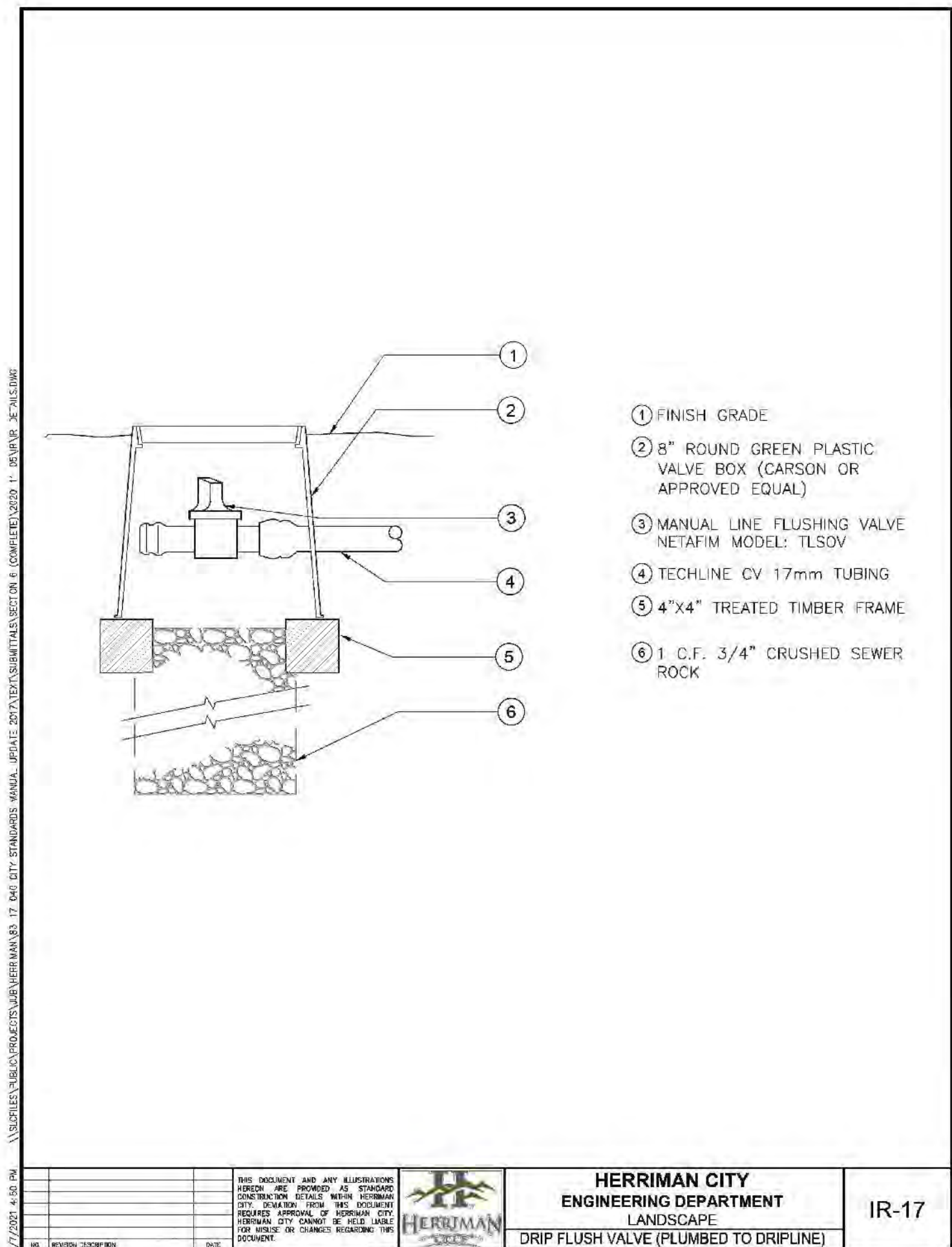
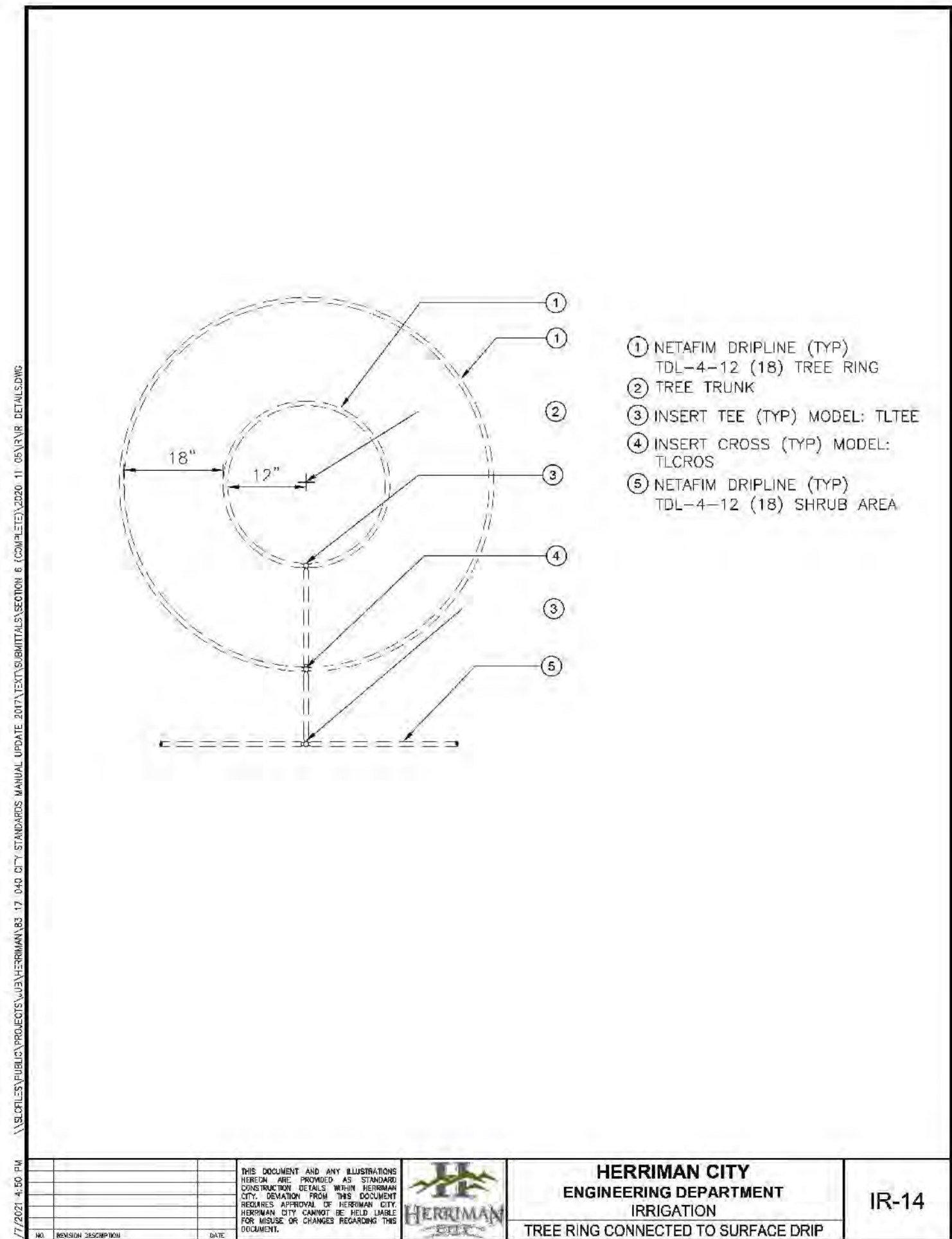
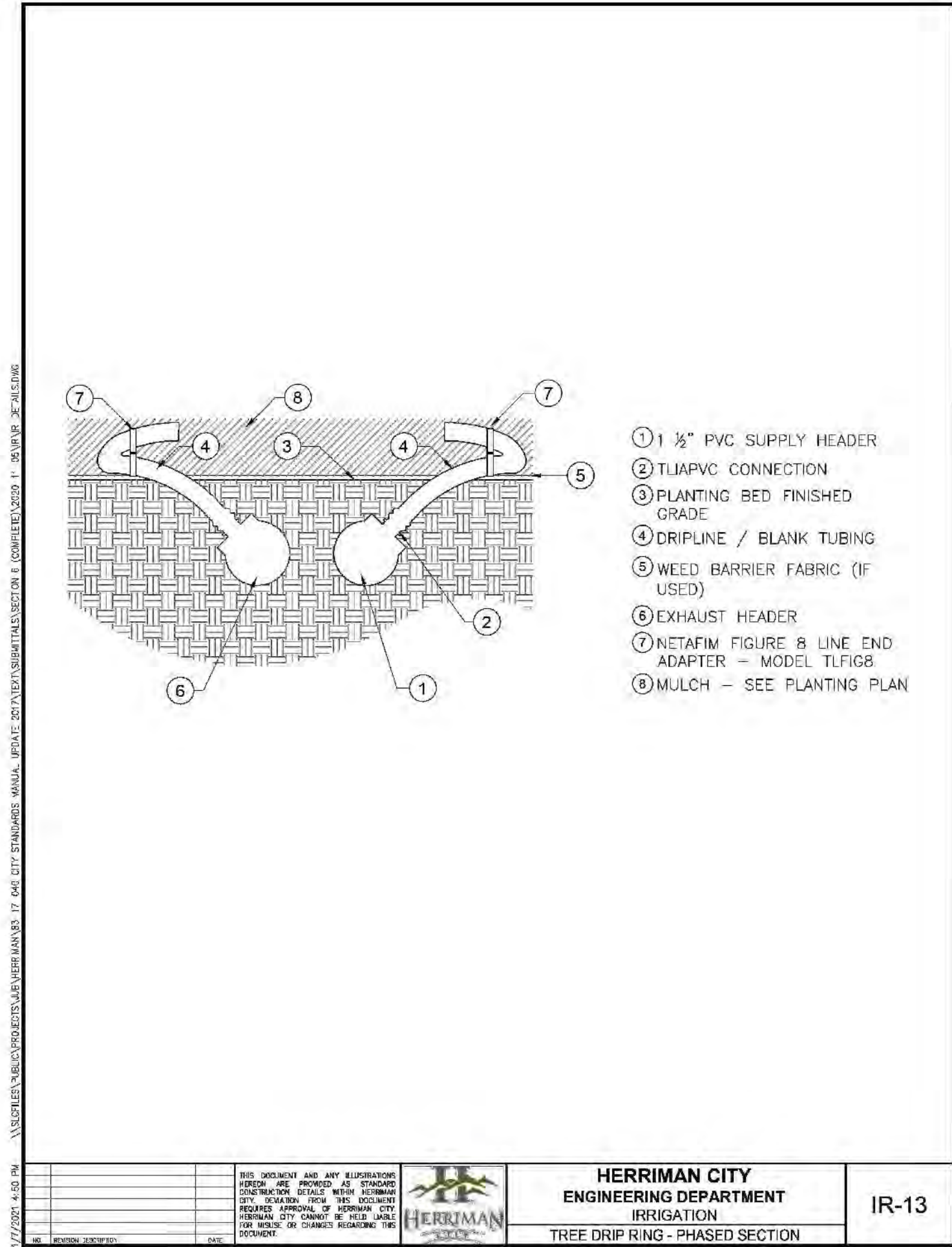
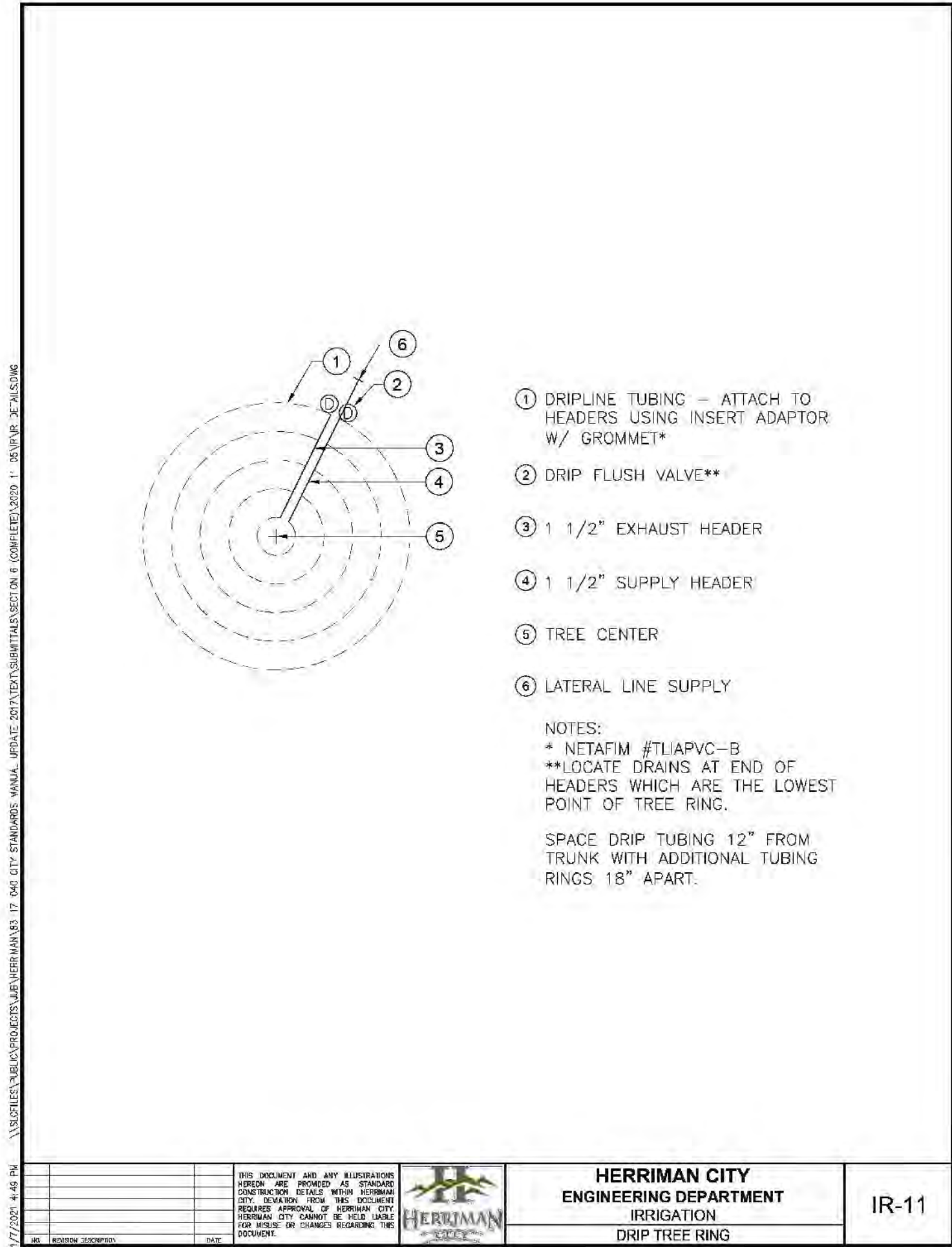
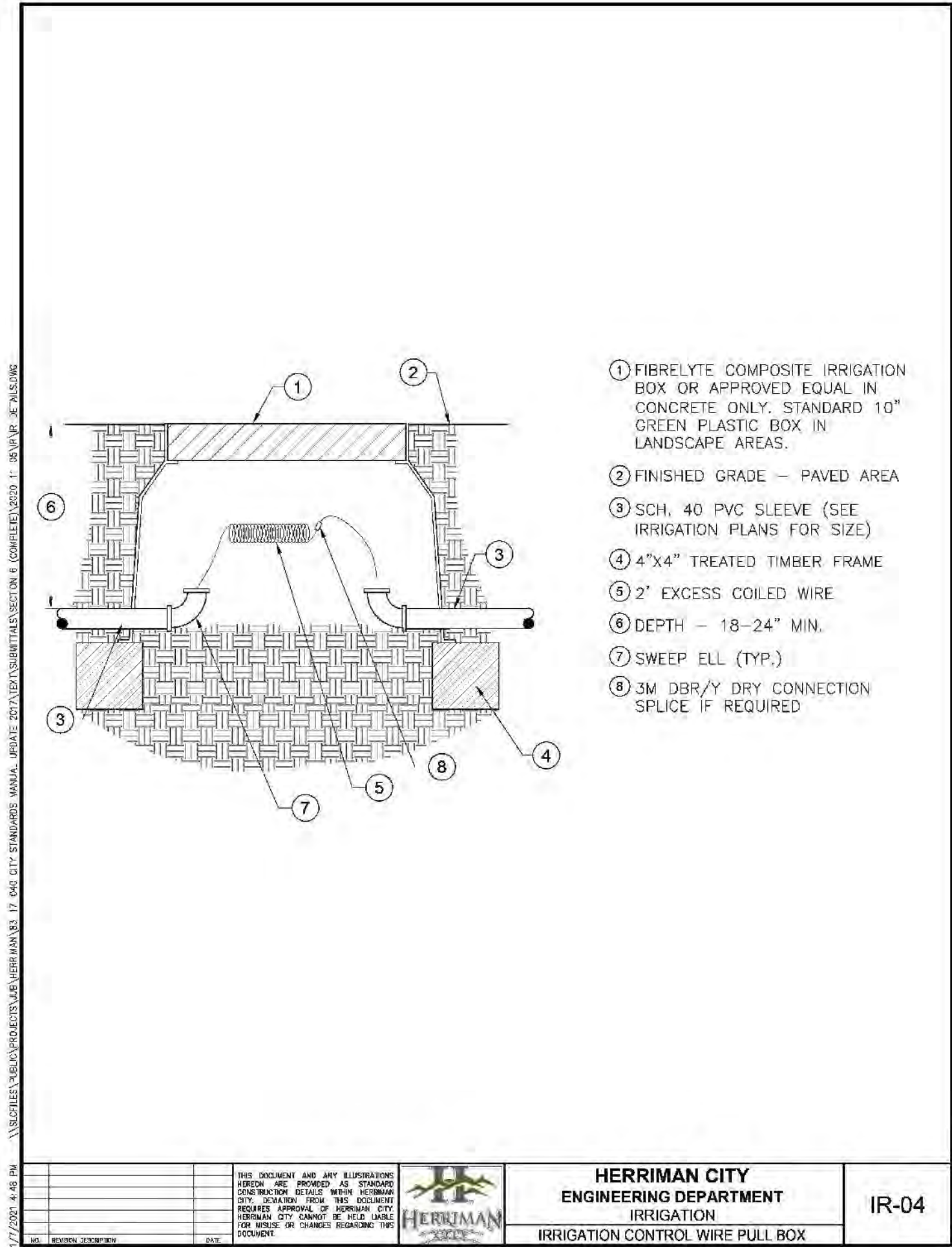
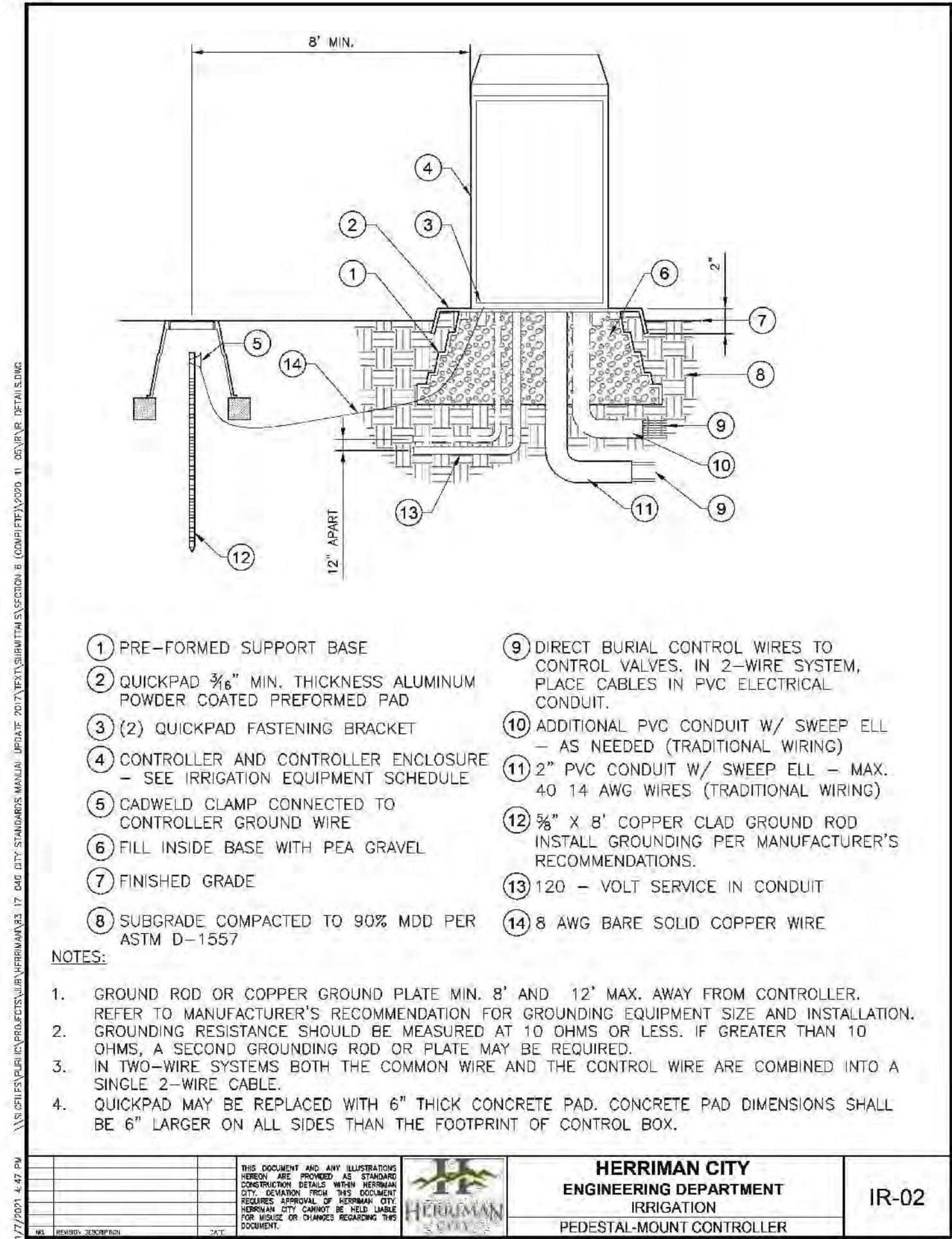
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DRAWN BY:BMN

DATE:27 JAN 2023  
REV: FINAL

SHEET  
IR03

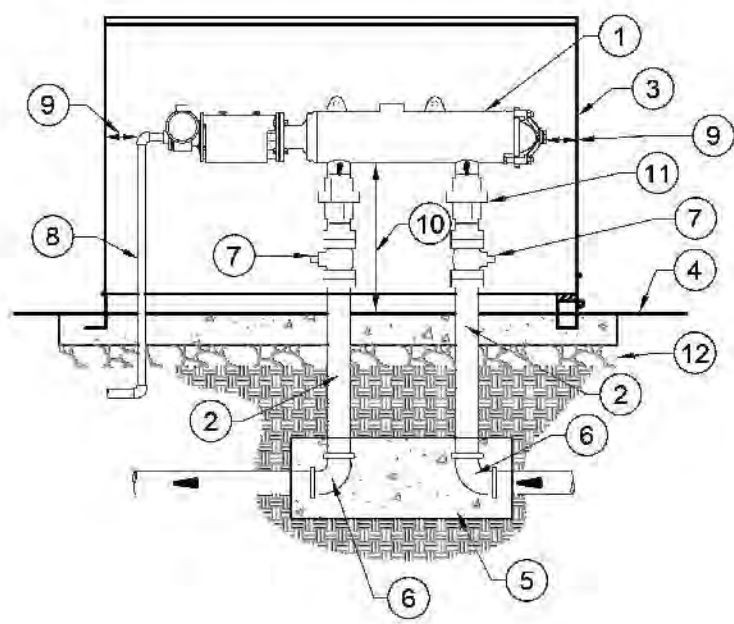








\\NORTHWEST\PROJECTS\HERRIMAN\17\_046\_CITY\_ENGINEERS\MANUAL\_UPDATE\DATA\SUBMITTALS\SECTION 6 - COMPLETION 2023 - 30'x45'x10'



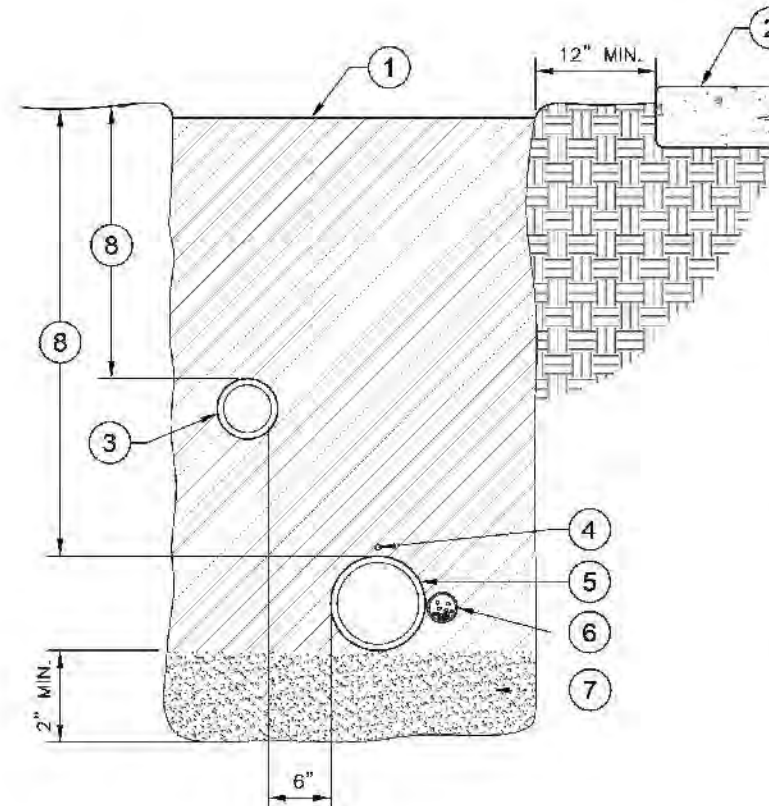
1. INLINE FILTER - SEE IRRIGATION EQUIPMENT SCHEDULE
2. GALVANIZED THREADED NIPPLE (LENGTH AS REQUIRED)
3. FILTER ENCLOSURE - SEE IRRIGATION EQUIPMENT SCHEDULE
4. FINISHED GRADE
5. CONCRETE THRUST BLOCK (TYP.) WRAP PIPES W/ 10 MIL TAPE - CAST AGAINST UNDISTURBED SOIL
6. FEMALE THREADED GALVANIZED 90 DEGREE ELL
7. FULL PORT APOLLO BALL VALVE
8. BACKFLUSH EXHAUST PIPE TO NEAREST STORM DRAIN BOX OR STORMWATER STRUCTURE - DEPENDING ON PROJECT REQUIREMENTS
9. 6" MIN.
10. 12" MIN.
11. THREADED ACTION UNION
12. 4" USC COMPACTED TO 95% MOD. PER ASTM D-1557



**HERRIMAN CITY  
ENGINEERING DEPARTMENT**  
LANDSCAPE  
2" AND SMALLER FILTER ASSEMBLY

IR-19

\\NORTHWEST\PROJECTS\HERRIMAN\17\_046\_CITY\_ENGINEERS\MANUAL\_UPDATE\DATA\SUBMITTALS\SECTION 6 - COMPLETION 2023 - 30'x45'x10'



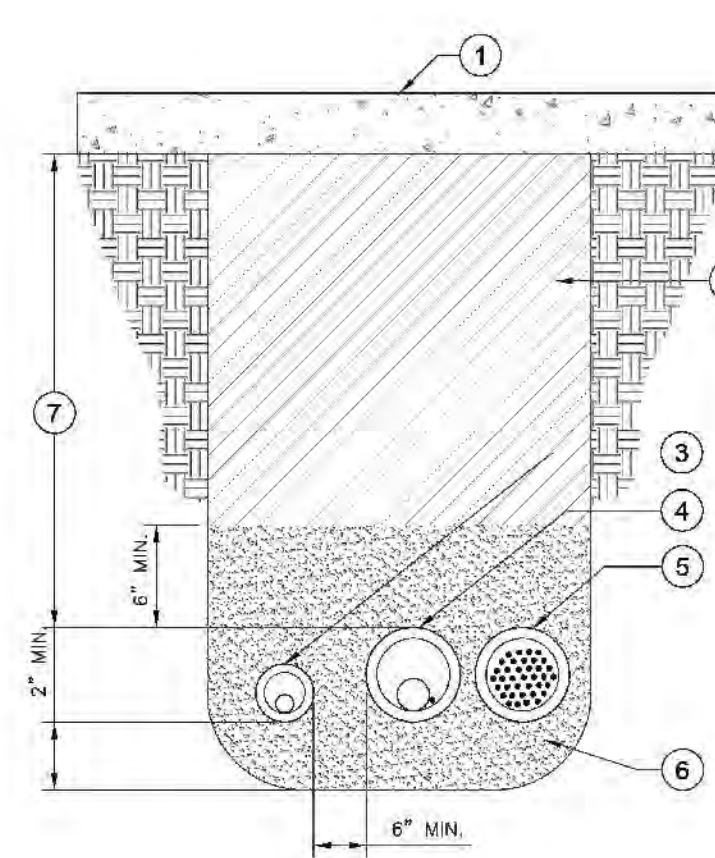
1. BACKFILL MATERIAL - SEE NOTES, COMPACT TO 90% MOD PER ASTM D-1557
  2. ADJACENT HARD SURFACE
  3. NON-PRESSURE LATERAL LINE
  4. MAIN LINE LOCATOR WIRE; BURIED WITH ALL MAIN LINES
  5. PVC MAIN LINE
  6. DIRECT BURIAL, LOW VOLTAGE CONTROL WIRES, TO BE INSTALLED IN ELECTRICAL CONDUIT, LOCATE DIRECTLY ADJACENT TO MAIN LINE
  7. BEDDING MATERIAL - SEE LANDSCAPE SPECIFICATIONS
  8. PIPE DEPTHS - SEE IRRIGATION SPECIFICATIONS
- NOTE: SEE SLEEVING DETAIL FOR TRENCHING IN PAVED AREAS.



**HERRIMAN CITY  
ENGINEERING DEPARTMENT**  
LANDSCAPE  
TRENCH DETAIL

IR-20

\\NORTHWEST\PROJECTS\HERRIMAN\17\_046\_CITY\_ENGINEERS\MANUAL\_UPDATE\DATA\SUBMITTALS\SECTION 6 - COMPLETION 2023 - 30'x45'x10'



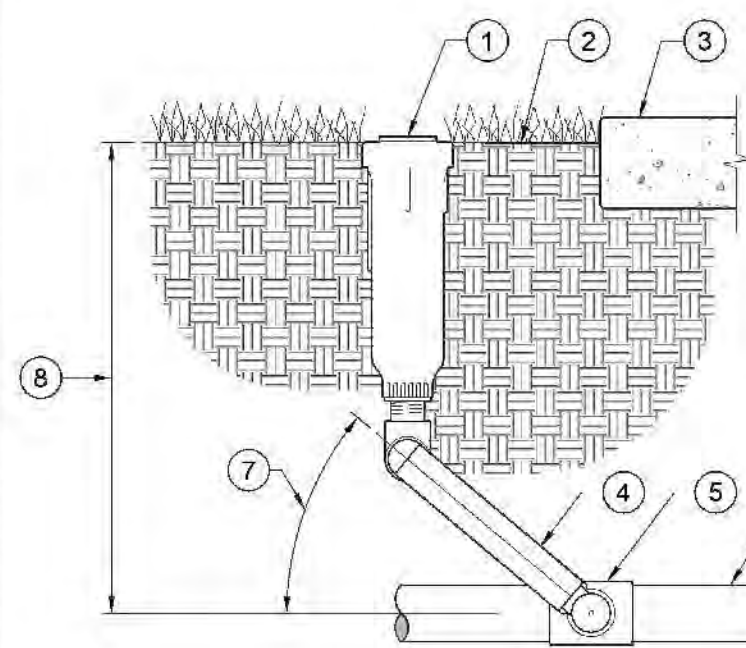
1. HARDSCAPE SURFACE - SEE PLANS
  2. BACKFILL MATERIAL - SEE PLANS AND HERRIMAN CITY SPECIFICATIONS
  3. LATERAL LINE WITH SLEEVE
  4. PVC MAIN LINE AND LOCATOR WIRE WITH SLEEVE
  5. CONTROL WIRE SLEEVE - SEE CHART BELOW FOR SIZE
  6. BEDDING MATERIAL - SEE NOTES
  7. MIN. COVER - 12" UNDER WALKS AND 18" UNDER STREETS
- NOTES:
1. SLEEVES 4" AND SMALLER USE PVC SCHEDULE 40 PIPE.
  2. SLEEVES LARGER THAN 4" USE PVC CLASS 200.
  3. ALL SLEEVES SHALL BE TWO (2) TIMES LARGER THAN THE DIAMETER OF THE PIPE BEING SLEEVED, UNLESS NOTED OTHERWISE ON THE PLANS.
  4. INSTALL SLEEVES AT A DEPTH SUFFICIENT TO AVOID CONFLICT WITH OTHER UTILITIES AND MAINS.
  5. WIRES SHALL BE IN SEPARATE CONDUIT.
  6. REFER TO SLEEVING DIAGRAM FOR SIZES OF ALL SLEEVES
  7. EXTEND ALL SLEEVING 12" MIN. BEYOND EDGE OF PAVING.



**HERRIMAN CITY  
ENGINEERING DEPARTMENT**  
LANDSCAPE  
SLEEVE DETAIL

IR-21

\\NORTHWEST\PROJECTS\HERRIMAN\17\_046\_CITY\_ENGINEERS\MANUAL\_UPDATE\DATA\SUBMITTALS\SECTION 6 - COMPLETION 2023 - 30'x45'x10'



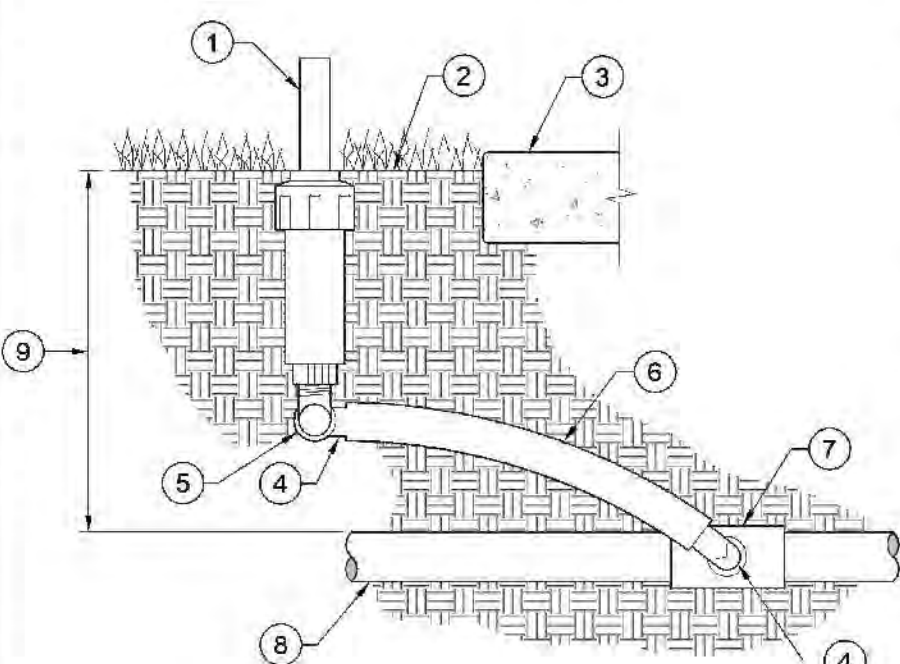
1. POP-UP ROTOR SPRINKLER - SEE IRRIGATION EQUIPMENT SCHEDULE
2. TOP OF SPRINKLER WILL BE FLUSH WITH FINISHED GRADE
3. NOTE: ALL SPRAY HEADS ADJACENT TO HARDSCAPE SHALL BE LOCATED 2" CLEAR OF ALL HARDSCAPE EDGES
4. LASCO UNITIZED SWING JOINT OR SPEARS SWING JOINT RISER ASSEMBLY, MIN. LENGTH - SIZE AS REQUIRED
5. PVC SCHEDULE 40 SXSXT TEE OR ELL
6. PVC LATERAL LINE, SIZE AS NOTED ON PLAN
7. SWING JOINT ARM INSTALLED AT ANGLE BETWEEN 20 AND 45 DEG. OF LATERAL PIPE
8. DEPTH - SEE NOTES AND TRENCH DETAIL



**HERRIMAN CITY  
ENGINEERING DEPARTMENT**  
LANDSCAPE  
POP-UP GEAR DRIVE ROTOR SPRINKLER

IR-22

\\NORTHWEST\PROJECTS\HERRIMAN\17\_046\_CITY\_ENGINEERS\MANUAL\_UPDATE\DATA\SUBMITTALS\SECTION 6 - COMPLETION 2023 - 30'x45'x10'



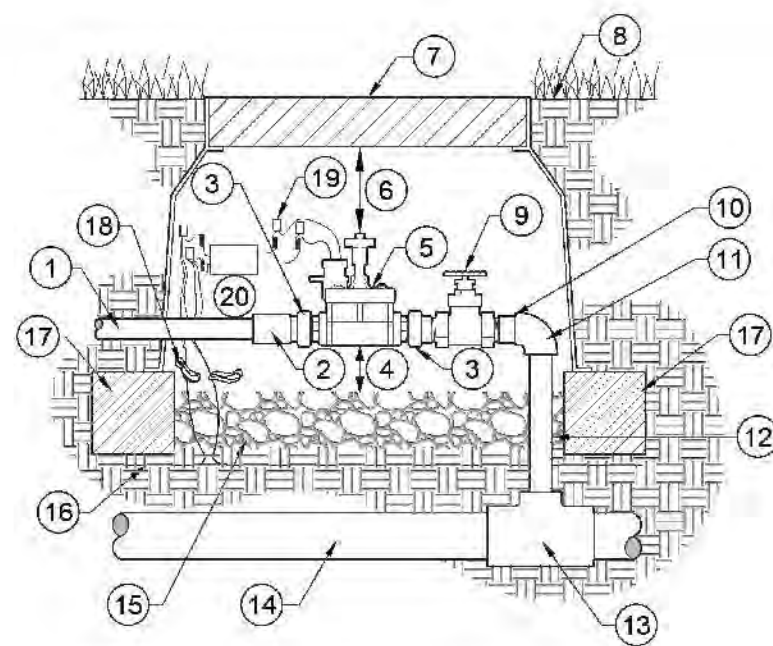
1. POP-UP SPRAY HEAD - SEE IRRIGATION EQUIPMENT SCHEDULE
2. TOP OF SPRINKLER WILL BE FLUSH WITH FINISHED GRADE
3. NOTE: ALL SPRAY HEADS ADJACENT TO HARDSCAPE SHALL BE LOCATED 2" CLEAR OF ALL HARDSCAPE EDGES
4. SWING PIPE ELL WITH SPIRAL BARB FITTING (TYP.)
5. MARLEX STREET ELL
6. FLEXIBLE SWING PIPE, 12" MIN., 36" MAX. LENGTH
7. PVC SCHEDULE 40 S X S X T TEE (OR ELL)
8. PVC LATERAL LINE, SIZE AS NOTED ON PLAN
9. DEPTH - SEE NOTES AND TRENCH DETAIL



**HERRIMAN CITY  
ENGINEERING DEPARTMENT**  
LANDSCAPE  
POP-UP SPRAY/ROTARY SPRINKLER

IR-23

\\NORTHWEST\PROJECTS\HERRIMAN\17\_046\_CITY\_ENGINEERS\MANUAL\_UPDATE\DATA\SUBMITTALS\SECTION 6 - COMPLETION 2023 - 30'x45'x10'



- NOTE:
1. ONLY ONE VALVE PER BOX.
  2. PLACE BOXES A MINIMUM OF 2' APART
  3. USE BOX EXTENSIONS AS REQUIRED.

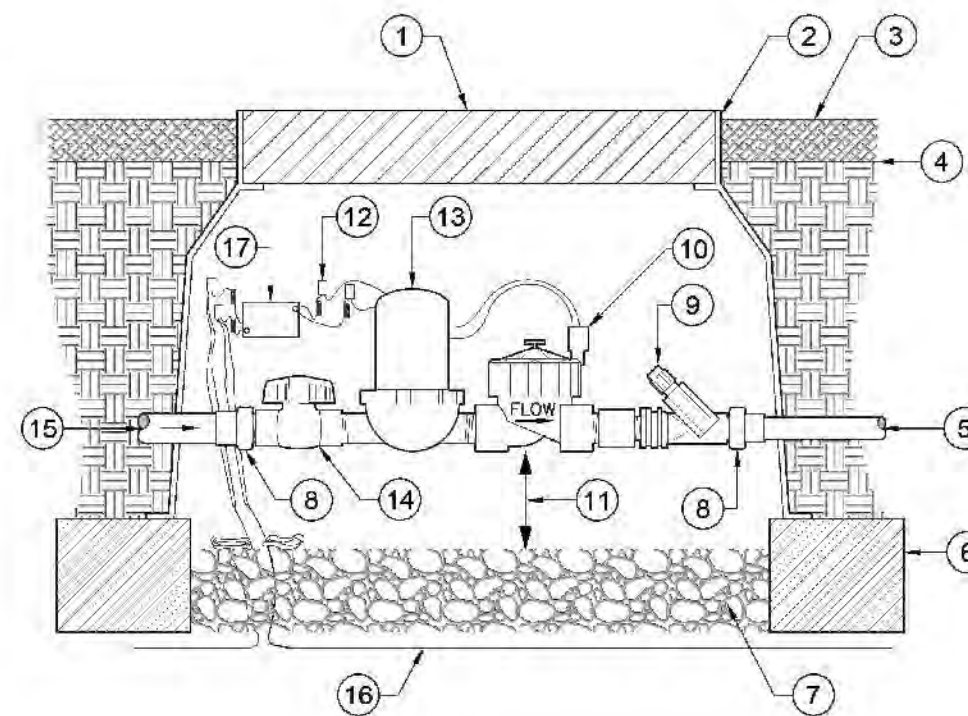
1. PVC LATERAL LINE
2. SCHEDULE 80 THREADED UNION
3. ACTION UNION - PART PART 18010-XX, PART 18011-XX, PART 18012-XX
4. 2" MIN. CLEARANCE
5. REMOTE CONTROL VALVE - SEE IRRIGATION EQUIPMENT SCHEDULE
6. 3" MIN. 6" MAX. CLEARANCE
7. PLASTIC VALVE BOX W/ BOLT LOCK (CARSON OR APPROVED EQUAL) SIZE AS PER VALVE SIZE: 1" VALVE = 18" STANDARD BOX; 1 1/2" - 2" VALVE = 18" JUMBO BOX
8. FINISHED GRADE
9. BRASS RESILIENT SEATED WEDGE GATE VALVE (MILWAUKEE OR APPROVED AMERICAN MADE BRASS) WITH HANDWHEEL AND NON-RISING STEM
10. PVC TOE NIPPLE
11. PVC SCHEDULE 80 ELL
12. PVC SCHEDULE 80 PIPE, SOLVENT WELDED - LENGTH AS REQUIRED
13. PVC SCHEDULE 80 TEE (OR ELL OR DUCTILE IRON SERVICE TEE)
14. PVC MAIN LINE
15. 4" MIN. PEA GRAVEL
16. WIRES TO CONTROLLER; INSTALL IN CONDUIT - SEE TRENCH DETAIL. USE SWEEP ELLS TO BRING WIRES TO VALVE BOX
17. 4"x4" TREATED TIMBER FRAME
18. PROVIDE 24" EXPANSION LOOP AT EACH WIRE CONNECTOR IN VALVE BOX
19. 3M DBR/Y ELECTRIC CONTROL WIRE CONNECTORS (TYP.)
20. DECODER - SEE IRRIGATION EQUIPMENT SCHEDULE



**HERRIMAN CITY  
ENGINEERING DEPARTMENT**  
LANDSCAPE  
2-WIRE CONTROL VALVE ASSEMBLY

IR-26

\\NORTHWEST\PROJECTS\HERRIMAN\17\_046\_CITY\_ENGINEERS\MANUAL\_UPDATE\DATA\SUBMITTALS\SECTION 6 - COMPLETION 2023 - 30'x45'x10'



1. 18" JUMBO GREEN PLASTIC VALVE BOX W/ BOLT LOCK (CARSON OR APPROVED EQUAL)
2. 1" MAX. CLEARANCE
3. PLANTING BED MULCH - SEE PLANTING SPECIFICATIONS AND PLANS FOR DEPTH AND TYPE
4. FINISHED GRADE
5. PVC SUPPLY HEADER
6. 4"x4" TREATED TIMBER FRAME
7. 4" MIN. PEA GRAVEL
8. THREADED ACTION UNION (TYP.)
9. INLINE PRESSURE REGULATOR
10. ELECTRIC CONTROL VALVE - SEE IRRIGATION EQUIPMENT SCHEDULE
11. 2" MIN. CLEARANCE
12. 3M DBR/Y WATER TIGHT WIRE CONNECTORS
13. INLINE 1" FILTER
14. PLASTIC PVC BALL VALVE
15. FLOW FROM PVC MAIN LINE
16. TWO-WIRE CONTROL WIRE; INSTALL IN CONDUIT - SEE TRENCH DETAIL. USE SWEEP ELLS TO BRING WIRE INTO VALVE BOX
17. DECODER - SEE IRRIGATION EQUIPMENT SCHEDULE



**HERRIMAN CITY  
ENGINEERING DEPARTMENT**  
LANDSCAPE  
2-WIRE DRIP ZONE REMOTE CONTROL VALVE

IR-27



**KAYSAN COVE**  
HERRIMAN CITY, UTAH

**IRRIGATION  
DETAILS**



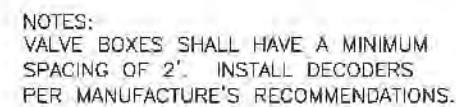
380 E Main St, Suite 204  
Midway, UT 84049 ph. (801) 723-2000

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DRAWN BY:BMN

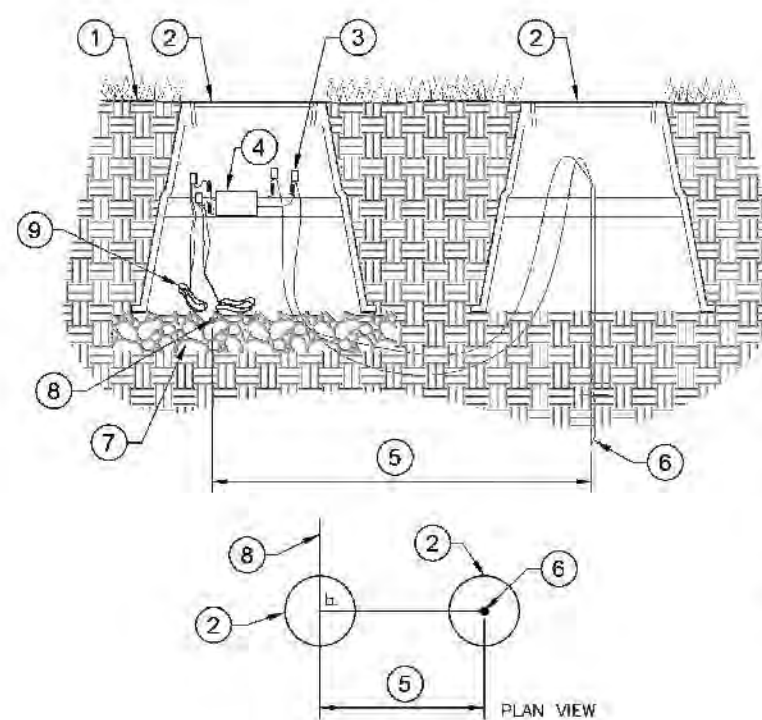
DATE: 27 JAN 2023  
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**IR05**

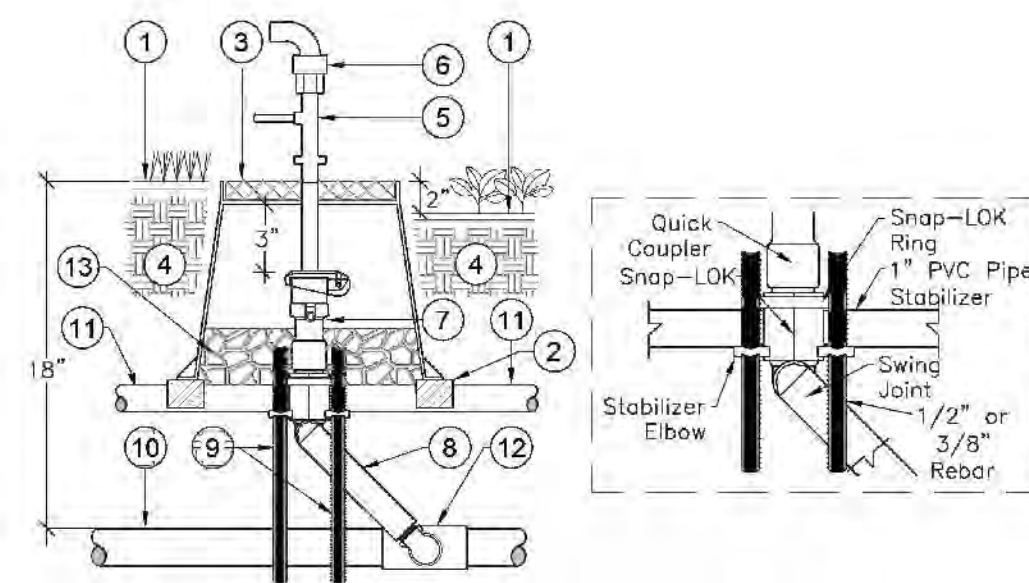




- ① SINGLE (1) VALVE DECODER - SEE IRRIGATION EQUIPMENT SCHEDULE
- ② DOUBLE (2) VALVE DECODER - SEE IRRIGATION EQUIPMENT SCHEDULE
- ③ QUADRUPLER (4) VALVE DECODER - SEE IRRIGATION EQUIPMENT SCHEDULE
- ④ TWO WIRE COMMUNICATION WIRE TO CONTROLLER
- ⑤ MAIN LINE
- ⑥ MAIN LINE STUB TO CONTROL VALVE
- ⑦ CONTROL VALVE - SEE IRRIGATION EQUIPMENT SCHEDULE AND CONTROL VALVE DETAIL
- ⑧ LATERAL TO HEADS
- ⑨ VALVE BOX - SEE CONTROL VALVE DETAIL
- ⑩ 3M DBP/4 WATER TIGHT WIRE CONNECTORS (TYP.)



- ① FINISHED GRADE
- ② 8" ROUND GREEN PLASTIC VALVE BOX WITH BOLT LOCK (CARSON OR APPROVED EQUAL)
- ③ 3M DBR/Y ELECTRIC CONTROL WIRE CONNECTORS (TYP.)
- ④ DECODER — SEE IRRIGATION EQUIPMENT SCHEDULE
- ⑤ MIN. 10' FROM TWO-WIRE
- ⑥ 5/8" DIA. X 8' LENGTH COPPER GROUND ROD
- ⑦ 4" MIN. PEA GRAVEL
- ⑧ TWO WIRE TO CONTROLLER
- ⑨ 24" MIN. EXPANSION LOOP AT EACH WIRE SPLICE ON TWO WIRE



- ① FINISH GRADE
- ② 4"x4" TREATED TIMBER FRAME
- ③ 10" ROUND GREEN PLASTIC VALVE BOX W/ BOLT LOCK (CARSON OR APPROVED EQUAL)
- ④ APPROVED BACKFILL
- ⑤ QUICK COUPLER KEY
- ⑥ QUICK COUPLER HOSE SWIVEL
- ⑦ QUICK COUPLER VALVE (SEE IRRIGATION EQUIPMENT SCHEDULE)
- ⑧ LASCO STANDARD UNITIZED SWING JOINT, WITH SNAP-LOCK STABILIZER ELBOW OUTLET. NOTE: INLET IS MPT, OUTLET IS BRASS MPT W/ SNAP-LOCK
- ⑨ ¾" OR 1½" 24" REBAR (2) REQUIRED
- ⑩ MAINLINE PIPE, PVC – SEE IRRIGATION PLAN
- ⑪ 1" PVC PIPE STABILIZER (OPTIONAL)
- ⑫ SERVICE TEE OR ELBOW, SGH. 40 (SIZE PER PLAN), SIZE TEE/ELBOW FITT OUTLET BASED ON MPT INLET SIZE OF THE SWING JOINT
- ⑬ 3" 3/4" CRUSHED SEWER ROCK

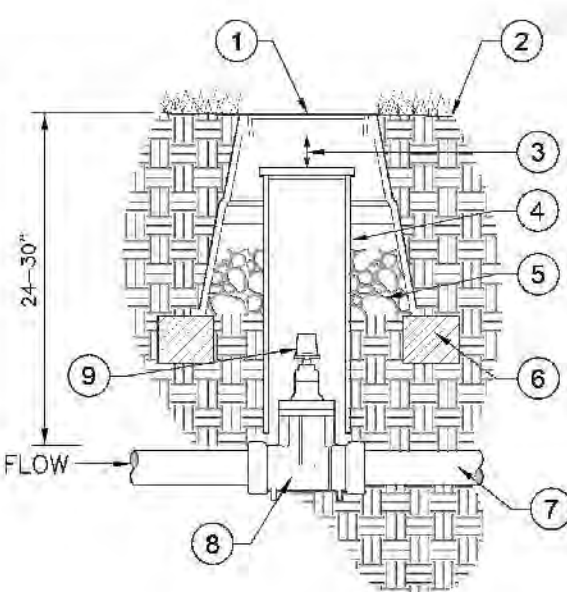
CITY METER SHUT OFF INITIAL MAIN LINE SIZE	HPA SIZE	FILTER SIZE	MASTER VALVE/FLOW METER SIZE	MASTER VALVE/FLOW METER SIZE	MAXIMUM AREA OF COVERAGE (8 HR. WATER)
1" 1"	1 1/2"	1"	1"	HYDROMETER	UP TO 20,000 SQ/FT
2" 2"	2"	1 1/2"	1 1/2"	HYDROMETER	UP TO 50,000 SQ/FT
2" 2"	2"	2"	2"	HYDROMETER	UP TO 115,000 SQ/FT
4" 4"	4"	3"	4"	HYDROMETER	UP TO 165,000 SQ/FT
4" 4"	4"	4"	4"	HYDROMETER	UP TO 300,000 SQ/FT
6" 6"	6"	6"	6"	HYDROMETER	UP TO 450,000 SQ/FT

NOTES:

1. MINIMUM MAIN LINE SIZE ACCEPTABLE ON ANY IRRIGATION SYSTEM IS 1".
2. THIS CHART ASSUMES A SINGLE POC PER IRRIGATION SYSTEM.
3. STOP & WASTE VALVES SHALL NOT BE ALLOWED OR ACCEPTED BY HERRIMAN CITY FOR DESIGN OR CONSTRUCTION.
4. FOR AREAS OVER 450,000 SQ/FT OR 10.3 ACRES, CONSULT WITH HERRIMAN CITY PARKS, WATER & ENGINEERING TO DETERMINE PROPER EQUIPMENT SIZING.

**HERRIMAN CITY APPROVED IRRIGATION EQUIPMENT LIST**  
**June 2020**

EQUIPMENT TYPE	DESCRIPTION	MANUFACTURER
Main Line (≥6")	PVC CL 200 gasketed bell end	
Main Line (≤4")	PVC SCH. 40 solvent weld	
Main Line Fittings (≥6")	Mechanical Joint (M.J.) or Deep Bell push-on gasketed ductile iron	Harco or Leemco
Main Line Fittings (≤4")	PVC SCH. 80 solvent weld	
Lateral Line	PVC SCH. 40 solvent weld	
Lateral Line Fittings (all)	PVC SCH. 40 solvent weld (buried); PCV SCH. 80 solvent weld (exposed)	
Master Valve	Hydrometer	Netafim
Isolation Gate Valve (line size)	Cast or Ductile Iron, resilient wedge, non-rising stem, 2" square operating nut, fusion bonded epoxy	Matco, Nibco, Mueller, Milwaukee
Electric Remote Control Valve	Commercial grade, industrial strength glass-filled nylon globe valve	Rain Bird PEB and PESB Series
Drip Valve Assembly	Low volume control zone kit with valve, filter, and pressure regulator	Netafim or Rain Bird
Quick Coupling Valve	1" locking rubber cover, 2-piece body	Rain Bird 44-LRC
Manual Drain Valve (main line)	3/4" bronze Irrigation ball valve, 2-piece, body, weld top	Apollo, No. 78-621-01
Manual Drain Valve (drip)	1/2" PVC ball valve	Netafim TLSOV
Backflow Preventer (≤2")	Reduced pressure backflow preventer	Wilkins / Zum. No. 975 Febco 825YA
Backflow Preventer (>2")	Reduced pressure backflow preventer	Wilkins / Zum. No. 375 Febco 880V
Backflow Enclosure	Aluminum, marine grade	Strongbox (size by backflow preventer assembly dimensions and requirements)
Automatic Filter (2" - 4")	Plastic filter, automatic operation, battery operated	Amiad Mini Sigma Series
Automatic Filter (≥6")	Steel filter, automatic operation, hydraulic operation	Amiad Filtoamat Series
Semi-automatic Filter (≤3")	Plastic filter, manual operation	Amiad Scanaway Series
Semi-automatic Filter (≥3")	Steel filter, manual operation	Amiad Scanaway Series



- ① 10" ROUND PLASTIC VALVE BOX W/ BOLT LOCK (CARSON OR APPROVED EQUAL MARKED "G.V." IN 2" WHITE LETTERS).
- ② FINISHED GRADE
- ③ 3" MIN. CLEARANCE
- ④ 3" FVC SCHEDULE 40 PIPE SLEEVE (NOTCH TO FIT PIPE), CAPPED BY CAM LOCK SNUG CAP
- ⑤ 3"-4" DEPTH CLEAN PEA GRAVEL
- ⑥ 4"x4" TREATED TIMBER FRAME
- ⑦ PVC MAIN LINE
- ⑧ GATE VALVE -- SEE IRRIGATION EQUIPMENT SCHEDULE
- ⑨ 2" SQUARE OPERATING NUT

**HERRIMAN CITY APPROVED IRRIGATION QUIPMENT LIST**  
**June 2020**

EQUIPMENT TYPE	DESCRIPTION	MANUFACTURER
Main Line (26")	PVC CL 200 gasketed bell end	
Main Line (54")	PVC SCH. 40 solvent weld	
Main Line Fittings (26")	Mechanical Joint (M.J.) or Deep Bell push-on gasketed ductile iron	Harco or Leemco
Main Line Fittings (54")	PVC SCH. 80 solvent weld	
Lateral Line	PVC SCH. 40 solvent weld	
Lateral Line Fittings (all)	PVC SCH. 40 solvent weld (buried); PCV SCH. 80 solvent weld (exposed)	
Master Valve	Hydrometer	Netafim
Isolation Gate Valve (line size)	Cast or Ductile Iron, resilient wedge, non-rising stem, 2" square operating nut, fusion bonded epoxy	Matco, Nibco, Mueller, Milwaukee
Electric Remote Control Valve	Commercial grade, industrial strength glass-filled nylon globe valve	Rain Bird PEB and PCSB Series
Drip Valve Assembly	Low volume control zone kit with valve, filter, and pressure regulator	Netafim or Rain Bird
Quick Coupling Valve	1" locking rubber cover, 2-piece body	Rain Bird 44-LRC
Manual Drain Valve (main line)	3/4" bronze Irrigation ball valve, 2-piece, body weld top	Apollo, No. 78-621-01
Manual Drain Valve (drip)	1/2" PVC ball valve	Netafim TLSOV
Backflow Preventer (<2")	Reduced pressure backflow preventer	Wilkins / Zurn, No. 975X Febco 825YA
Backflow Preventer (>2")	Reduced pressure backflow preventer	Wilkins / Zurn, No. 375; Febco 880V
Backflow Enclosure	Aluminum, marine grade	Strongbox (size by backflow preventer assembly dimensions and requirements)
Automatic Filter (2" - 4")	Plastic filter, automatic operation, battery operated	Amiad Mini Sigma Series
Automatic Filter (26")	Steel filter, automatic operation, hydraulic operation	Amiad Filtramat Series
Semi-automatic Filter (33")	Plastic filter, manual operation	Amiad Scanaway Series
Semi-automatic Filter (23")	Steel filter, manual operation	Amiad Scanaway Series

A circular logo with a black and white checkered border. Inside the circle is a landscape illustration featuring a mountain range, a line of evergreen trees, and a body of water. Below the illustration, the text "BRYAN M. NICHOLAS" is written in a serif font, followed by "NO. 12982936-5701" in a smaller font. A handwritten signature "Bryan M. Nicholas" is written across the middle of the logo. Below the circular logo, the date "27 JAN 2023" is printed in a bold, sans-serif font.

**KAYSAN COVE**  
HERRIMAN CITY, UTAH

## IRRIGATION DETAILS



380 E Main St, Suite 204  
Midway, Ut 84049 ph. (801) 723-2000

DESIGN BY:BMN  
DRAWN BY:BMN

DATE: 27 JAN 202  
REV: FINAL

23 SHEET  
IR06



**Attachment - F**  
**PC Approval**





October 7, 2022

Natalie D Afridi  
14537 S Long Ridge Drive  
Herriman, UT 84096

Re: File Number S2022-103; Kaysan Cove

Dear Natalie:

The Herriman Planning Commission, at their regular meeting on October 6, 2022, approved the Kaysan Cove Preliminary plat for a 4 lot residential subdivision at 6573 W Rose Canyon Road in the A-1-10 (Agricultural) Zone. The Commission voted 6-0 to approve your project with the following conditions:

1. Receive and agree to the recommendations from other City departments.
2. Installation of a six (6') foot precast fence along Rose Canyon Road (to match existing adjacent precast).
3. Complete all right-of-way improvements along Rose Canyon Road unless the City Council grants a deviation of the road standard.
4. Pay a fee in lieu of the required ROW improvements along Blayde Drive (6600 W) from the existing completed ROW to the south boundary line of the development (adjacent to the detention pond).
5. Pond to be redesigned to retain the 80<sup>th</sup> percentile storm event, and to detain the 100 year storm event.
6. Long term stormwater maintenance agreement to be executed and recorded before a preconstruction meeting can be held.
7. Compliance with current Herriman City standards and ordinances.

The subdivision plat will expire two (2) years after the Planning Commission's October 6, 2022 approval. Failure to record the final plat within the two (2) year time period renders the final plat void. The City may grant an extension if the request for extension is made in writing and received by Staff prior to the expiration date.

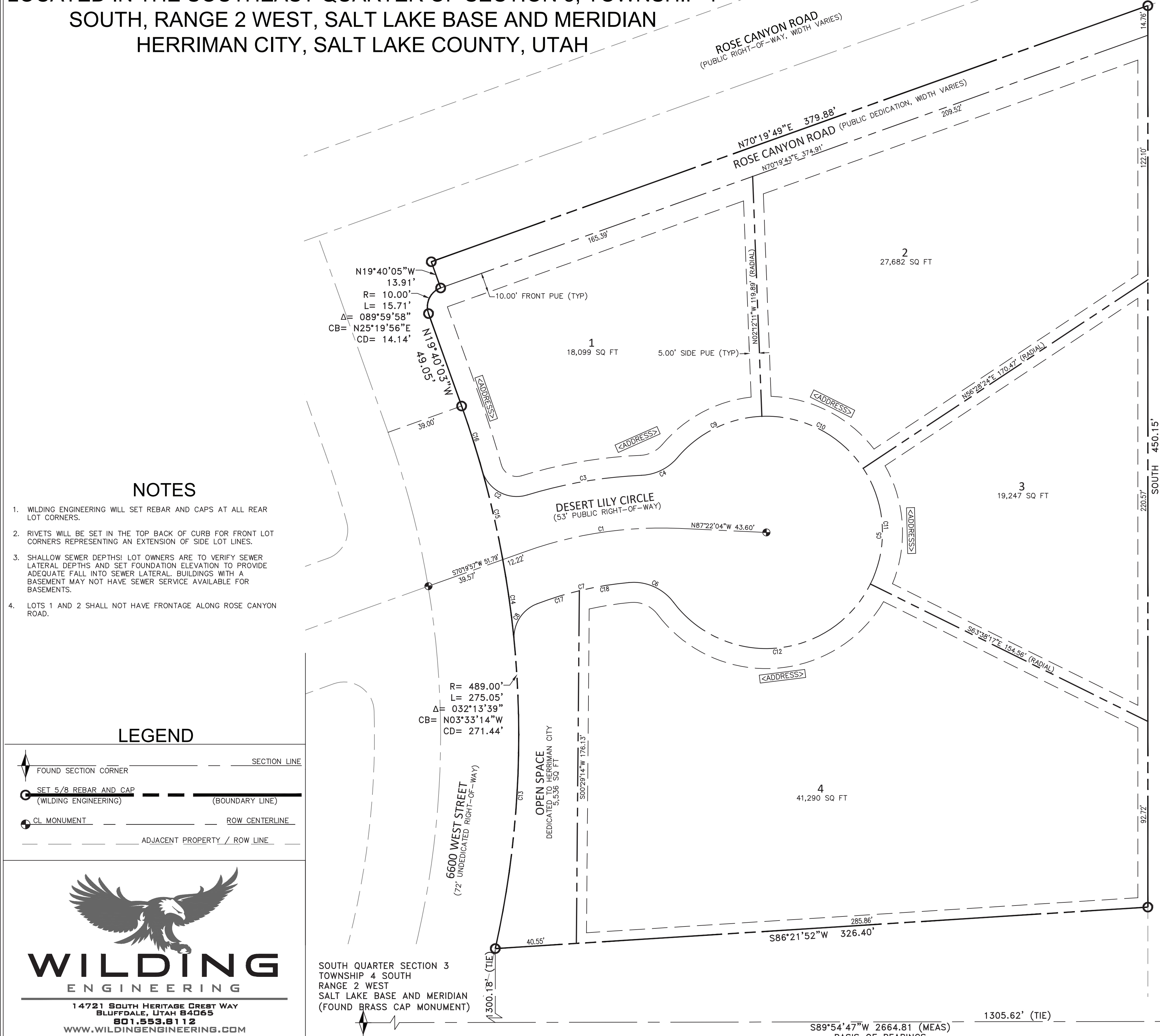
If you have any other questions please contact the Planning Department during regular business hours.

Sincerely,

Sheldon Howa  
Planner II  
Herriman City



KAYSON COVE  
A RESIDENTIAL SUBDIVISION  
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 4  
SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN  
HERRIMAN CITY, SALT LAKE COUNTY, UTAH



NOTES

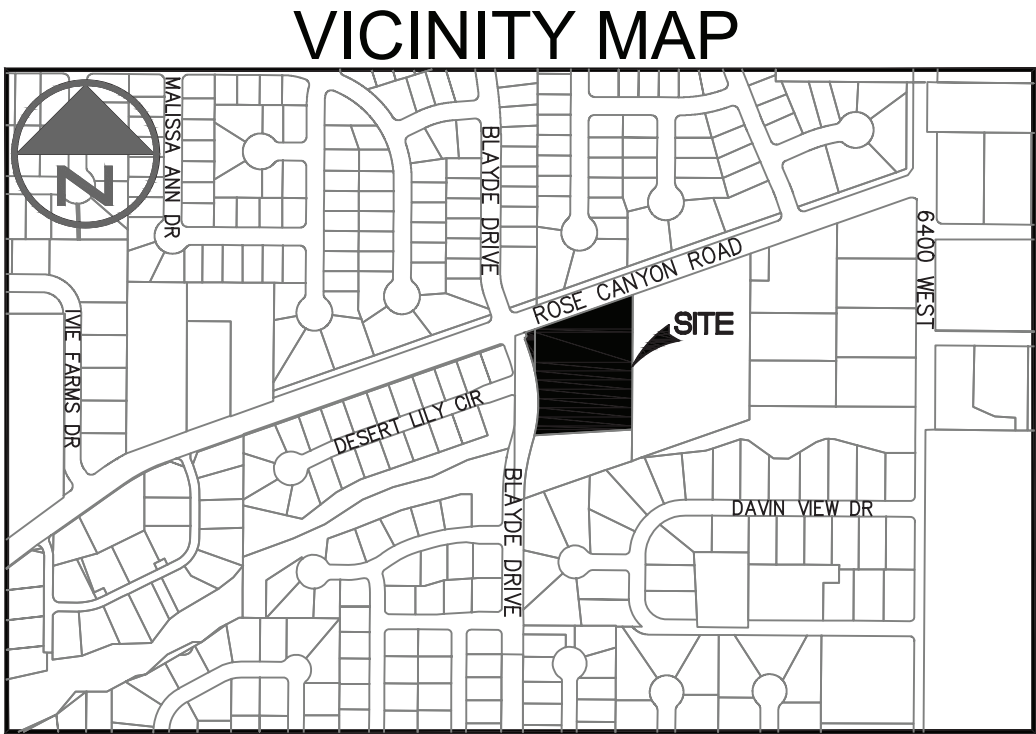
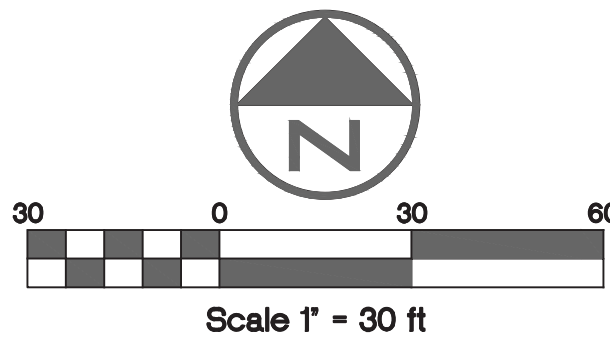
1. WILDING ENGINEERING WILL SET REBAR AND CAPS AT ALL REAR LOT CORNERS.
2. RIVETS WILL BE SET IN THE TOP BACK OF CURB FOR FRONT LOT CORNERS REPRESENTING AN EXTENSION OF SIDE LOT LINES.
3. SHALLOW SEWER DEPTHS! LOT OWNERS ARE TO VERIFY SEWER LATERAL DEPTHS AND SET FOUNDATION ELEVATION TO PROVIDE ADEQUATE FALL INTO SEWER LATERAL. BUILDINGS WITH A BASEMENT MAY NOT HAVE SEWER SERVICE AVAILABLE FOR BASEMENTS.
4. LOTS 1 AND 2 SHALL NOT HAVE FRONTAGE ALONG ROSE CANYON ROAD.

LEGEND

- FOUND SECTION CORNER
- SET 5/8 REBAR AND CAP (WILDING ENGINEERING)
- CL MONUMENT
- SECTION LINE
- BOUNDARY LINE
- ROW CENTERLINE
- ADJACENT PROPERTY / ROW LINE



SOUTH QUARTER SECTION 3  
TOWNSHIP 4 SOUTH  
RANGE 2 WEST  
SALT LAKE BASE AND MERIDIAN  
(FOUND BRASS CAP MONUMENT)



CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	77.84'	200.00'	22°17'59"	S81°28'56"W	77.35'
C2	28.70'	18.00'	91°21'38"	S61°24'11"E	25.76'
C3	57.86'	226.50'	14°38'12"	S80°14'06"W	57.70'
C4	20.70'	25.00'	47°26'02"	N63°50'11"E	20.11'
C5	286.39'	58.00'	282°54'58"	N01°34'39"E	72.28'
C6	25.43'	25.00'	58°17'02"	N66°06'23"W	24.35'
C7	47.11'	173.50'	15°33'24"	S76°58'24"W	46.96'
C8	23.48'	18.00'	74°44'44"	S31°49'21"W	21.85'
C9	48.26'	58.00'	47°40'39"	S63°57'30"W	46.88'
C10	59.40'	58.00'	58°40'35"	N62°51'53"W	56.84'
C11	60.62'	58.00'	59°53'18"	N03°34'57"W	57.90'
C12	118.11'	58.00'	116°40'26"	N84°41'55"E	98.73'
C13	154.57'	489.00'	18°06'37"	N03°30'17"E	153.92'
C14	41.01'	489.00'	4°48'17"	N07°57'09"W	40.99'
C15	45.81'	489.00'	5°22'04"	N13°02'20"W	45.80'
C16	33.67'	489.00'	3°56'41"	N17°41'43"W	33.66'
C17	22.03'	173.50'	7°16'26"	S72°49'55"W	22.01'
C18	25.08'	173.50'	8°16'58"	S80°36'37"W	25.06'

SOUTHEAST CORNER SECTION  
3, TOWNSHIP 4 SOUTH,  
RANGE 2 WEST  
SALT LAKE BASE AND  
MERIDIAN  
(FOUND BRASS CAP  
MONUMENT)

SURVEYOR'S CERTIFICATE:

I, KAGAN M. DIXON, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 9061091 IN ACCORDANCE WITH TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT OF THE STATE OF UTAH. I FURTHER CERTIFY THAT, BY THE AUTHORITY OF THE OWNER, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW IN ACCORDANCE WITH UTAH CODE SECTION 17-23-17, AND THAT I HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, HEREAFTER TO BE KNOWN AS:

KAYSON COVE - A RESIDENTIAL SUBDIVISION

AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

DATE

BOUNDARY DESCRIPTION:

A TRACT OF LAND BEING SITUATE IN THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 4 SOUTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN, HAVING A BASIS OF BEARINGS OF SOUTH 89°54'47" WEST BETWEEN THE SOUTHEAST AND SOUTH QUARTER OF SAID SECTION 3, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT WHICH IS SOUTH 89°54'47" WEST ALONG THE SECTION LINE A DISTANCE OF 1,305.62 FEET AND NORTH 1,300.18 FEET TO THE POINT OF BEGINNING, SAID POINT BEING ON THE EAST LINE OF 6600 WEST STREET, AND RUNNING THENCE ALONG SAID EAST LINE THE FOLLOWING TWO (2) COURSES, 1) ALONG A 489.00 FOOT RADIUS CURVE TO THE LEFT A DISTANCE OF 275.05 FEET THROUGH A CENTRAL ANGLE OF 321°3'39" (CHORD BEARS NORTH 03°33'14" WEST 271.44 FEET), 2) NORTH 19°40'03" WEST 49.05 FEET TO THE POINT OF A 10.00 FOOT RADIUS TANGENT CURVE TO THE RIGHT; THENCE ALONG SAID CURVE A DISTANCE OF 15.71 FEET THROUGH A CENTRAL ANGLE OF 89°59'58" (CHORD BEARS NORTH 25°19'58" EAST 14.14 FEET); THENCE NORTH 19°40'05" WEST 13.91 FEET TO THE SOUTH LINE OF ROSE CANYON ROAD; THENCE NORTH 70°19'49" EAST ALONG SAID SOUTH LINE A DISTANCE OF 379.88 FEET; THENCE SOUTH 450.15 FEET; THENCE SOUTH 86°21'52" WEST 326.40 FEET TO THE POINT OF BEGINNING.

CONTAINS 131,975 SQUARE FEET OR 3.030 ACRES, MORE OR LESS.

OWNER'S DEDICATION:

KNOWN ALL BY THESE PRESENTS THAT WE THE UNDERSIGNED OWNER(S) OF THE DESCRIBED TRACT OF LAND ABOVE, HAVING CAUSE THE SAME TO BE SUBDIVIDED INTO LOTS AND STREETS TO HEREAFTER BE KNOWN AS:

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE, AND WARRANT, DEFEND, AND SAVE THE CITY HARMLESS AGAINST ANY EASEMENTS OR OTHER ENCUMBRANCES ON THE DEDICATED STREETS WHICH WILL INTERFERE WITH THE CITY'S USE, OPERATION, MAINTENANCE OF THE STREETS AND DO FURTHER DEDICATE THE EASEMENTS AS SHOWN FOR PUBLIC USE BY ALL SUPPLIERS OF UTILITY OR OTHER NECESSARY SERVICES. IN WITNESS WHEREOF, WE HAVE HERETO SET ASIDE OUR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_.

SIGNED:

ACKNOWLEDGEMENT

STATE OF UTAH } S.S.  
COUNTY OF UTAH }

THE FOREGOING INSTRUMENT(S) WAS ACKNOWLEDGED BEFORE ME ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY AND WHO REPRESENTED THAT THEY ARE THE OWNERS OF THE ABOVE DESCRIBED PROERTY AND HAVE AUTHORITY TO EXECUTE THIS INSTRUMENT.

PRINTED NAME, A NOTARY PUBLIC  
COMMISSIONED IN UTAH

COMMISSION NUMBER

EXPIRATION DATE

ACKNOWLEDGEMENT

STATE OF UTAH } S.S.  
COUNTY OF UTAH }

THE FOREGOING INSTRUMENT(S) WAS ACKNOWLEDGED BEFORE ME ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_ BY AND WHO REPRESENTED THAT THEY ARE THE OWNERS OF THE ABOVE DESCRIBED PROERTY AND HAVE AUTHORITY TO EXECUTE THIS INSTRUMENT.

PRINTED NAME, A NOTARY PUBLIC  
COMMISSIONED IN UTAH

COMMISSION NUMBER

EXPIRATION DATE

HEALTH DEPARTMENT

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_ BY THE HEALTH DEPARTMENT.

REPRESENTATIVE

CHECKED FOR ZONING

ZONE: \_\_\_\_\_ DATE: \_\_\_\_\_

AREA: \_\_\_\_\_ WIDTH: \_\_\_\_\_

NAME: \_\_\_\_\_

COMCAST

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_ BY COMCAST.

REPRESENTATIVE

PLANNING COMMISSION

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_  
BY HERRIMAN CITY PLANNING COMMISSION

CHAIRMAN: HERRIMAN PLANNING COMMISSION

CENTURY LINK COMMUNICATION

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_ BY CENTURY LINK COMMUNICATIONS.

REPRESENTATIVE

HERRIMAN CITY MUNICIPAL WATER

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_  
BY HERRIMAN CITY MUNICIPAL WATER.

HERRIMAN CITY

ROCKY MOUNTAIN POWER

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_ BY ROCKY MOUNTAIN POWER.

REPRESENTATIVE

HERRIMAN CITY ENGINEER

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT  
AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN  
THIS OFFICE.

HERRIMAN CITY ENGINEER

DATE

SOUTH VALLEY SEWER DISTRICT

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_ BY SOUTH VALLEY  
SEWER DISTRICT.

REPRESENTATIVE

APPROVAL AS TO FORM

APPROVED AS TO FORM THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_

HERRIMAN CITY ATTORNEY

DOMINION ENERGY

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
A.D. 20\_\_\_\_ BY DOMINION ENERGY.

REPRESENTATIVE

HERRIMAN CITY

APPROVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ A.D. 20\_\_\_\_  
BY HERRIMAN CITY.

ATTEST: RECORDER

PLANNING DIRECTOR

KAYSON COVE

A RESIDENTIAL SUBDIVISION

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 4 SOUTH,  
RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN  
HERRIMAN CITY, SALT LAKE COUNTY, UTAH

RECORD #

STATE OF UTAH COUNTY OF SALT LAKE RECORDED AND FILED AT THE REQUEST OF

DATE \_\_\_\_\_ TIME \_\_\_\_\_ BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

SEE \$

DEPUTY, SALT LAKE COUNTY RECORDER



**Attachment - G**  
**Public Notice**





## Planning Commission Meeting

April 5, 2023

Time: 7pm

Place: 5355 W Herriman Main St.

Please Contact Herriman City Planning  
With Questions/ Concerns At:  
[planning@herriman.org](mailto:planning@herriman.org)  
OR  
801-727-0938  
Comments Due by April 5, 2023



# PUBLIC NOTICE

You are encouraged to attend a Public Hearing regarding a request that has been made by Adnan Afridi to amend the preliminary plat of Kaysan Cove (File# S2022-103) to add one (1) additional residential lot to the previously approved four (4) lot residential subdivision located generally at 6573 W Rose Canyon Road in the A-1-10 (Agricultural) Zone.



Scan the QR Code or go to [www.herriman.org/Public-Notices](http://www.herriman.org/Public-Notices) for more plat information

Staff Reports available at <https://www.herriman.org/pc-agendas-minutes> on March 29, 2023



## Planning Commission Meeting

April 5, 2023

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